

June 24, 2025

Town of Perinton
Attn: James Brasley
1350 Turk Hill Road
Fairport, NY 14450

Re: Perinton Reserve (Formally Aldrich Single Family Homes)
Tax ID: 167.13-1-11, 167.13-1-7 & 167.13-1-2.1

Dear Chairman Brasley:

On behalf of IGWT Development LLC, we respectfully submit the attached revised materials for consideration of Concept/Preliminary and Final Subdivision Approval at the July 16, 2025 Planning Board meeting.

At the last planning board meeting there were some outstanding comments from the town engineer as well as some comments from the board itself. Some of the highlights are below.

- Increased the size of the stormwater management area to hold 100% of the 100-yr storm.
- Decreased the depth of lot #6 and increased the size of the town owned land.
- Raised the rear house elevations of lots 1-7 over 2 vertical feet.
- Increased landscaping by 50%.
- Addressed Town Engineer comments.

In support of our request, attached please find:

(15) Letters of Intent & 1 Original
(15) Revised Short EAF & 1 Original
(15) Revised Subdivision Plans

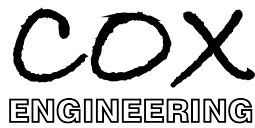
(15) Response letter to Town Engineer comments
(1) Electronic Copy of Application (emailed)

If you have any questions or require additional information regarding this matter, please do not hesitate to contact me at any time dcoxengineering@gmail.com. Thank you for your consideration.

Sincerely,



David Cox PE
President



677 Gasberry Ln
Webster, NY 14580
585.683.1313

June 20, 2025

Town of Perinton
Attn: Rob Kozaritz
1350 Turk Hill Road
Fairport, NY 14450

Re: Perinton Reserve (Formally Aldrich Single Family Homes)

This letter addresses comments from town staff dated 6/13/25.

Engineering Comments

1. This project is considered an Unlisted SEQR action. The DPW has reviewed the EAF package submitted for this project and has the following comment:

- a. Revise the response to Part I Question 17b to state "Stormwater will be directed to an existing tributary to White Brook in the southwest corner of the property."

Response: EAF has been revised, see attached.

2. The project is located outside adjacent Pedestrian Zones and therefore no sidewalk contribution will be required.

Response: Comment noted.

3. The project will require a sewer district extension prior to connecting new homes to Town sewer. Coordinate with Town Engineer on this Town Board approval process.

Response: Commend noted.

4. Since the proposed Stormwater Management Area (SMA) on Lot 17 is proposed to be deeded to the Town of Perinton, a 20' wide piece of property deeded to the Town of Perinton or a deed restriction must be provided between the Right of Way and Lot 17.

Response: A 20' wide town dedicated strip of land from the ROW to lot 17 has been provided.

5. A 12' wide access path around the SMA and connecting to the ROW is required using standard detail D12 (option c).

Response: The plans have been revised to provide a 12' access path around the SMA.

6. The Town DPW has significant comments on the hydraulic design of the SMA provided for this project, including assumptions regarding the existing and proposed soil properties, infiltration basin design and calculations showing how the pond will perform during 10 and 100 year storm events assuming tail water effects from the adjacent stream corridor. Contact Town Engineer to discuss.

Response: Per discussions with town staff the hydraflow model has been revised to have an 8" outlet as requested, a tailwater condition of 475.4 and removing any considerations for infiltration. With these adjustments the pond is able to detain 100% of the 100-yr storm.

7. The plans show significant earthwork and utility work for the SMA within 30' of a mapped federal wetland. DPW recommends a delineation be performed to confirm a wetland disturbance permit will not be required from the US Army Corp of Engineers.

Response: A wetland delineation was performed on 6/16/25 by Passero Associates. Their letter dated 6/17/25 is attached.

8. Provide drain inlets for Lot 13/14 and Lot 10/11 instead of end sections. Provide a 6" perforated PVC underdrain at the invert of the swale bedded in #1 washed crushed stone, wrapped in geotextile fabric and covered with topsoil.

Response: *The end sections have been revised to Nyloplast inlets. Underdrain has been extended in the rear yards.*

9. Confirm with Monroe County Department of Transportation that the driveway for Lot 15 has adequate sight distance of southbound vehicles coming from Ayrault Rd.

Response: *MCDOT has reviewed the plans and has no further comments.*

10. A Letter of Credit estimate has been submitted for this project and is under review by the Town Engineer.

Response: *Comment Noted.*

11. Provide test pit data to determine typical water table elevation at the site, in particular near lots 1–8. Basement floor slabs shall be 2' (min.) above the water table.

Response: *Test pit data attached. All basements are a minimum of 2' above the water table.*

12. Indicate on the plans that hung plumbing will be required to serve the 1st floor of each home.

Response: *A note has been added to the Utility Plan on the right hand side under simulated flow data.*

13. In all fill areas 2' or more, the contractor shall perform subgrade compaction testing along the proposed alignment at 100' intervals along the centerline and at 5' offsets left and right of the centerline. Provide a compaction schedule on the profile that summarizes this requirement

Response: *A compaction schedule has been added to the profile sheet.*

14. Add a note to the Utility Plan (Dwg C-105) that a Kor-n-Seal boot shall be used to connect new sewer pipe to the existing manhole on the south side of Ayrault Rd. Add a note to replace existing 8" steel driveway culvert for #127 Aldrich Rd with 12" SICPP and restore driveway as needed after sanitary sewer is installed.

Response: *A note has been added to the Utility Plan near the existing sanitary manhole connection.*

15. Provide descriptions for all easements, dedications and deed restrictions to the DPW for review. The signed easement documents along with a check to the Monroe County Clerk for the appropriate filing fee shall be provided to the DPW prior to filing the subdivision map.

Response: *Comment noted. Easement map and descriptions are in progress.*

16. Provide subdivision monuments at the corners of the proposed subdivision. All lot corners shall be pinned with #5 rebar, 42" long, prior to issuance of a Certificate of Occupancy and final release of letter of credit.

Response: *Notes have been added to the Subdivision Plat.*

17. On the subdivision plan, show monument locations at point of curve and point of tangent locations on the ROW.

Response: *Monument locations have been added.*

18. On the subdivision and site plans, eliminate note 10 that indicates private septic systems will be provided for this subdivision.

Response: *Note 10 has been revised.*

19. On the utility plan, there is a 12" pipe discharging water from the Aldrich Rd right of way directly into the side yard for Lot 16 and rear yards of Lots 7, 8 and 9. Coordinate this runoff concern with Monroe County DOT to avoid issues with future homeowners.

Response: A drainage swale has been provided with underdrain in the rear of lots 9 & 10 to pick up drainage from this pipe.

20. Revise storm sewer design to eliminate placement of manhole D-5 in the center of the cul-de-sac.

Response: The storm sewer has been revised to remove D-5 out of the cul-de-sac pavement.

21. Provide two (2) 4" PVC SDR-21 laterals with clean-outs from the proposed 8" main to property line for #29-31 Aldrich Rd. Connect the lateral for Lot 15 directly to the main and not the access manhole.

Response: Sanitary laterals have been provided.

22. Provide a 4" PVC SDR-21 lateral with clean-out to #37 Aldrich Rd along the Lot 9/10 property line.

Response: An easement and lateral stub has been provided on lot #11 for 37 Aldrich Rd.

23. Provide a 4" PVC SDR-21 lateral with clean-out from the proposed 8" main to Lot 16 for #81 Aldrich Rd. Connect the lateral for Lot 16 directly to the main and not the access manhole.

Response: The proposed lateral has been added.

24. Provide a detail showing the proposed outlet control structure with all top of grate, outlet invert and orifice elevations labeled.

Response: A detail of the outlet control structure has been added to Detail Sheet C-203.

25. In the sanitary sewer notes on sheet C-201, revise Note 2 to require laterals be 4" minimum installed at 2% slope.

Response: The sanitary sewer notes have been revised.

26. Provide a cross section of the SMA with 1, 10 and 100 Year storm elevations shown and spillway and outlet structure and emergency spillway labeled.

Response: A cross section has been added to the profile sheet.

27. Maintain a 20' buffer of existing vegetation along the east side properties behind Lots 9 through 11.

Response: The hedge line of existing vegetation is being preserved behind lots 9 through 11.

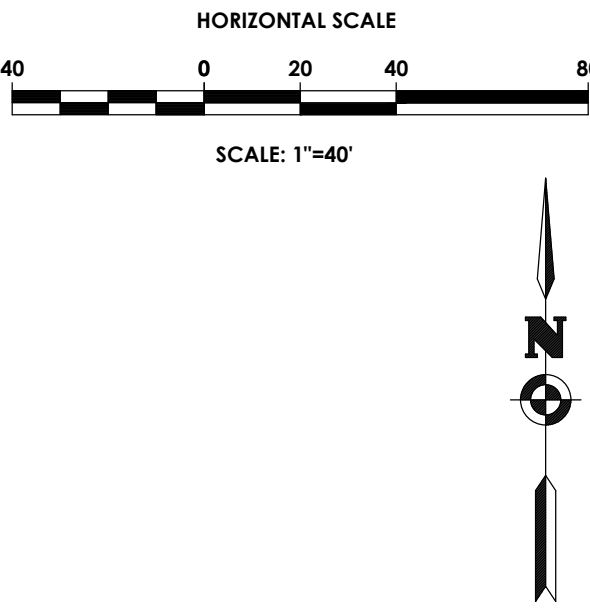
If you have any questions or require additional information regarding this matter, please do not hesitate to contact me at any time dcoxengineering@gmail.com or (585) 683-1313. Thank you.

Sincerely,

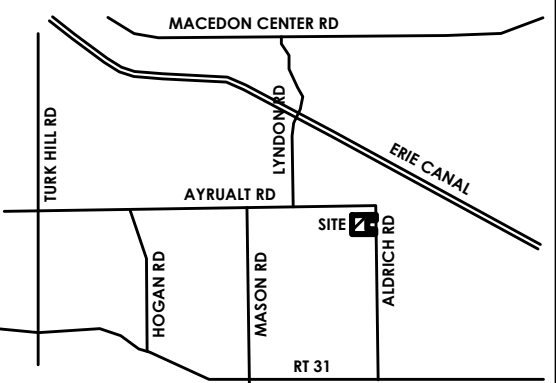


David Cox PE
President

SITE DEVELOPMENT PLANS FOR
PERINTON RESERVE
TOWN OF PERINTON, MONROE COUNTY, NEW YORK
P.N. 20254109.0000



COX
ENGINEERING



LOCATION SKETCH
N.T.S.

STAMP:



CLIENT:
IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

PROJECT MANAGER: DAVID COX PE
PROJECT ENGINEER: DAVID COX PE
DESIGNER: DAVID COX PE

NO.	DATE	BY	DESCRIPTION
1	6/19/25	DC	REVISED PER TOWN STAFF COMMENTS
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COVER
SHEET

PERINTON RESERVE

MUNICIPALITY: Perinton STATE: NY
COUNTY: Monroe

PROJECT NO.: 20254109.0000

DRAWING NO.: C-101

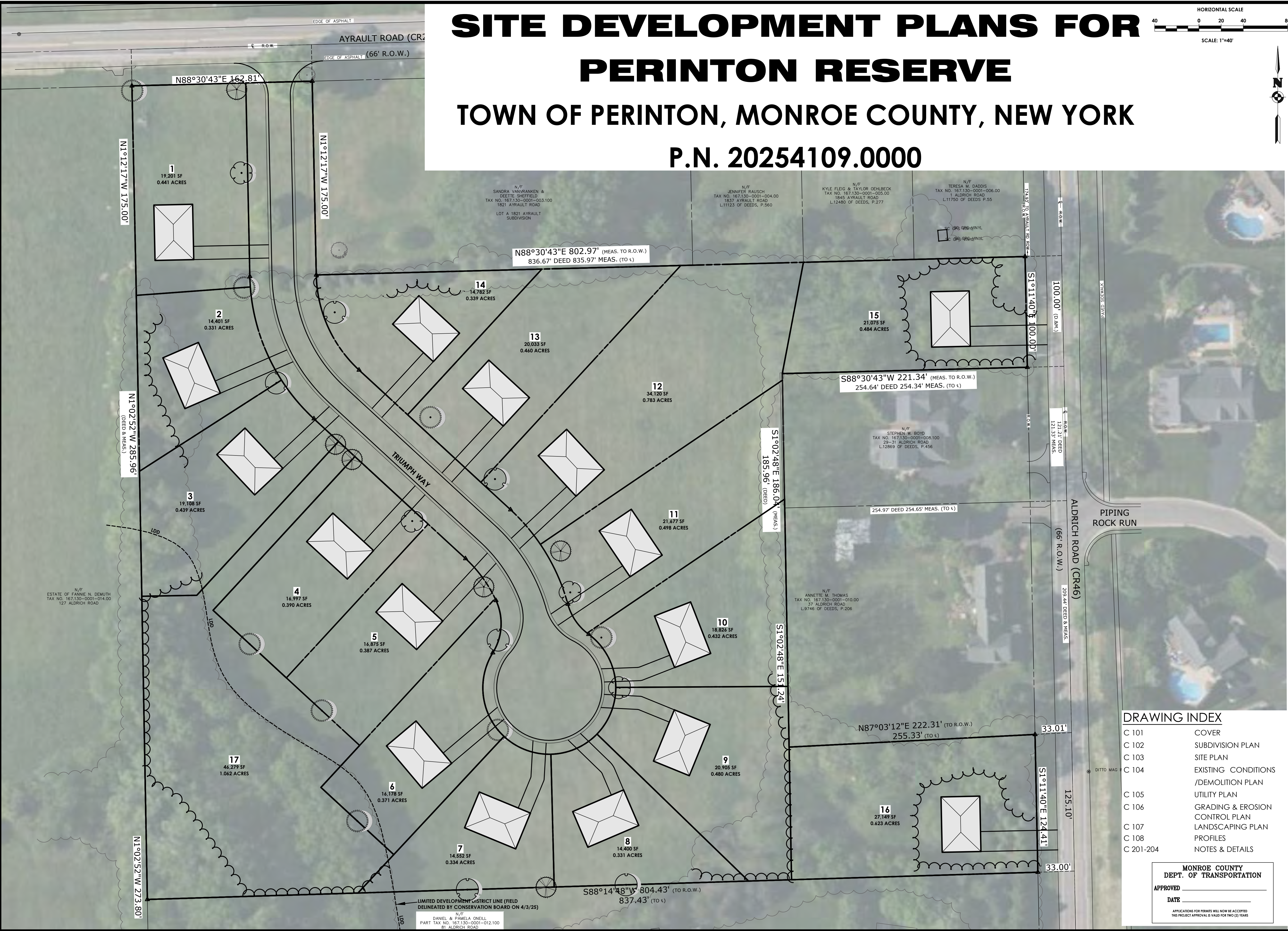
DATE: MAY 2025

DRAWING INDEX

- | | |
|-----------|--------------------------------------|
| C 101 | COVER |
| C 102 | SUBDIVISION PLAN |
| C 103 | SITE PLAN |
| C 104 | EXISTING CONDITIONS /DEMOLITION PLAN |
| C 105 | UTILITY PLAN |
| C 106 | GRADING & EROSION CONTROL PLAN |
| C 107 | LANDSCAPING PLAN |
| C 108 | PROFILES |
| C 201-204 | NOTES & DETAILS |

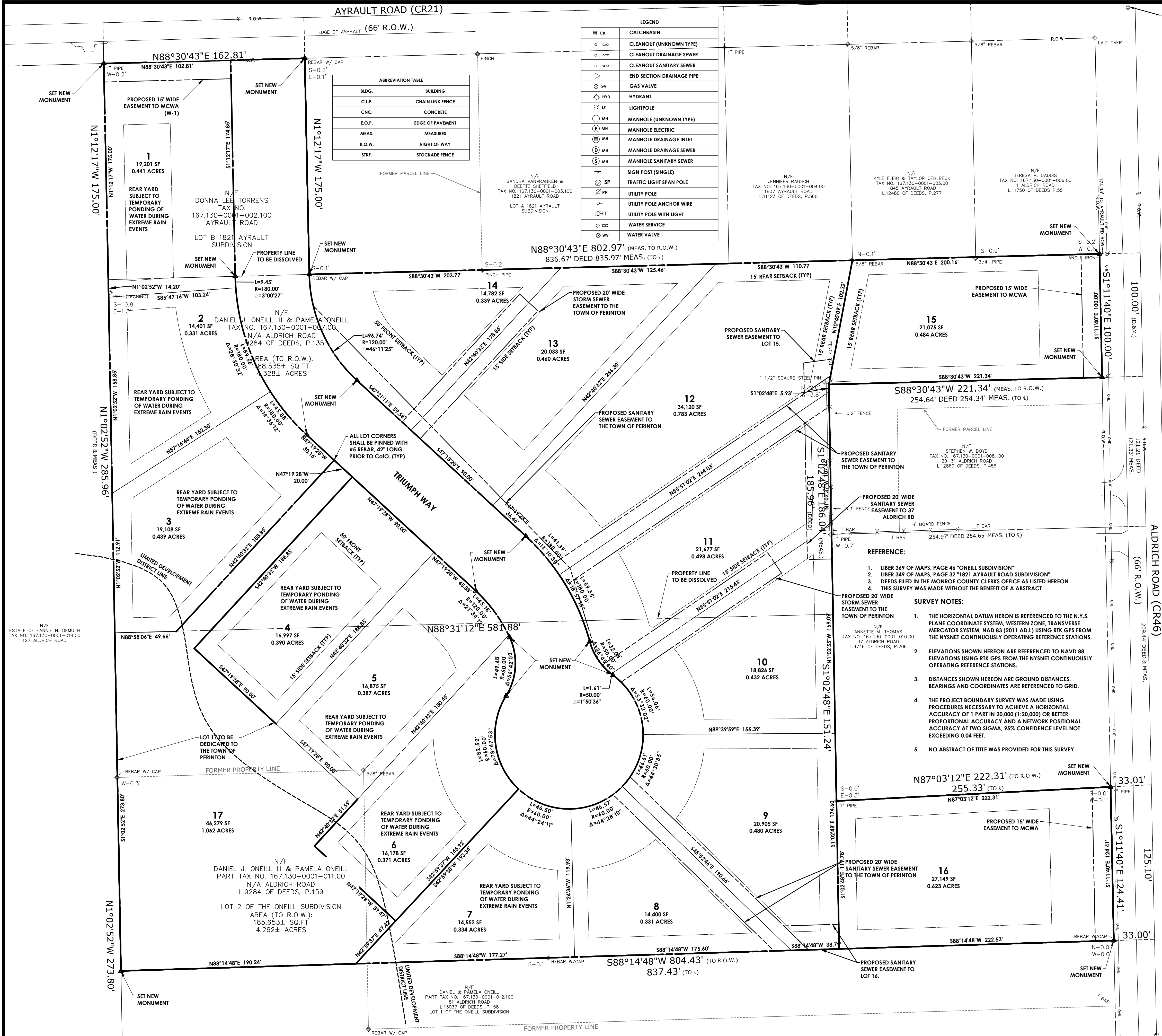
MONROE COUNTY
DEPT. OF TRANSPORTATION
APPROVED _____
DATE _____
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

NOT FOR CONSTRUCTION



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BENCHMARK NO. 132
MAG NAIL SET IN ASPHALT
ELEV.=492.82'

HORIZONTAL SCALE
40 0 20 40 80
SCALE: 1"=40'

MONROE COUNTY SURVEYORS OFFICE/DEPT. OF TRANSPORTATION

This plat is approved in accordance with the provisions of Section 239-1, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For General Municipal Law:

County Highway Superintendent _____ Date _____

For the Monroe County Monumentation Law:

Monroe County Surveyors Office _____ Date _____

SITE DATA

1. TAX ACCOUNT NUMBER:	167.13-1-7, 167.13-1-11 & 167.13-1-21
2. PARCEL ADDRESS:	0 ALDRICH RD, PERINTON, NY 14450
3. TOTAL PARCEL AREA:	9.24 ACRES OR 402,461 S.F.
TOTAL IMPERVIOUS AREA:	1.47ACRES OR 63,883 S.F. OR 16%
GREENSPACE AREA:	7.77 ACRES OR 338,798 S.F. OR 84%
DISTURBANCE AREA:	6.08 ACRES OR 264,844 S.F.
4. EXISTING ZONING:	RESIDENTIAL ZONE B
EXISTING USE:	VACANT LAND
PROPOSED USE:	16 SINGLE FAMILY LOTS

ZONING ANALYSIS

	REQUIRED	PROPOSED
MIN LOT WIDTH	90'	90'
MIN LOT WIDTH CORNER LOT	120'	120'
MIN LOT AREA	14,400 SF	>14,400 SF
MIN LOT AREA CORNER LOT	19,200 SF	>19,200 SF
MIN BUILDING FOOTPRINT	1,000 SF	>1,000 SF
FRONT SETBACK	50'	50'
SIDE SETBACK	12'	12'
REAR SETBACK	15'	15'
MAX BUILDING HEIGHT	2 STORY	2 STORY

5. A WETLAND DELINEATION WAS PERFORMED BY PASSERO ASSOCIATES ON 6/16/25.

6. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOODPLAIN PER FEMA MAPS.

7. PUBLIC WATER WILL BE PROVIDED BY FAIRPORT ELECTRIC.

8. ELECTRIC SERVICE WILL BE SUPPLIED BY FAIRPORT ELECTRIC.

9. SANITARY SEWER WILL BE OWNED AND MAINTAINED BY THE TOWN OF PERINTON.

10. STORM SEWER AND DRAINAGE FACILITIES WILL OWNED AND MAINTAINED BY THE TOWN OF PERINTON.

11. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF TOWN OF PERINTON AND MONROE COUNTY.

MONROE COUNTY DEPARTMENT OF HEALTH
CONDITIONS OF APPROVAL:

- THAT THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE INSTALLED IN CONFORMITY WITH SAID PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF HEALTH.
- THAT NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RESUBDIVISION BEING SUBMITTED TO AN APPROVED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.
- THAT AN ORIGINAL SUBDIVISION MAP AS APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
- THAT THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN, OR IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE SUBDIVISION SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS BUILT" PLAN DEPICTING ALL INSTALLED SANITARY FACILITIES, INCLUDING SEWAGE, STORM WATER, AND WATER SUPPLY.
- THAT ADEQUATE EROSION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SPEEDS GENERAL PERMIT 0-25-001 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES WILL BE OBTAINED.

Realty Subdivision Approval

Monroe County Department of Public Health
Realty Subdivision Approval

This is to certify that approved plans for Water Supply and Sewage Disposal for this project are on file in the office of the Monroe County Department of Public Health. Consent is hereby given for the filing of this map in the Monroe County Clerk's Office in accordance with Article III of the Monroe County Sanitary Code

Director of Public Health

By _____ Public Health Engineer Date _____

BENCHMARK NO. 133
MAG NAIL SET IN ASPHALT
ELEV.=504.88'

APPROVED BY _____ DATE _____

APPROVED BY _____ DATE _____

APPROVED BY _____ DATE _____

APPROVED BY _____ DATE _____

APPROVED BY _____ DATE _____

APPROVED BY _____ DATE _____

APPROVED BY _____ DATE _____

COX
ENGINEERING

LOCATION SKETCH
N.T.S.

STAMP:

CLIENT:
IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

NO.	DATE	BY	DESCRIPTION
1	6/19/25	DC	REVISED PER TOWN STAFF COMMENTS
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SUBDIVISION PLAT

PERINTON RESERVE

MUNICIPALITY: Perinton
COUNTY: Monroe STATE: NY

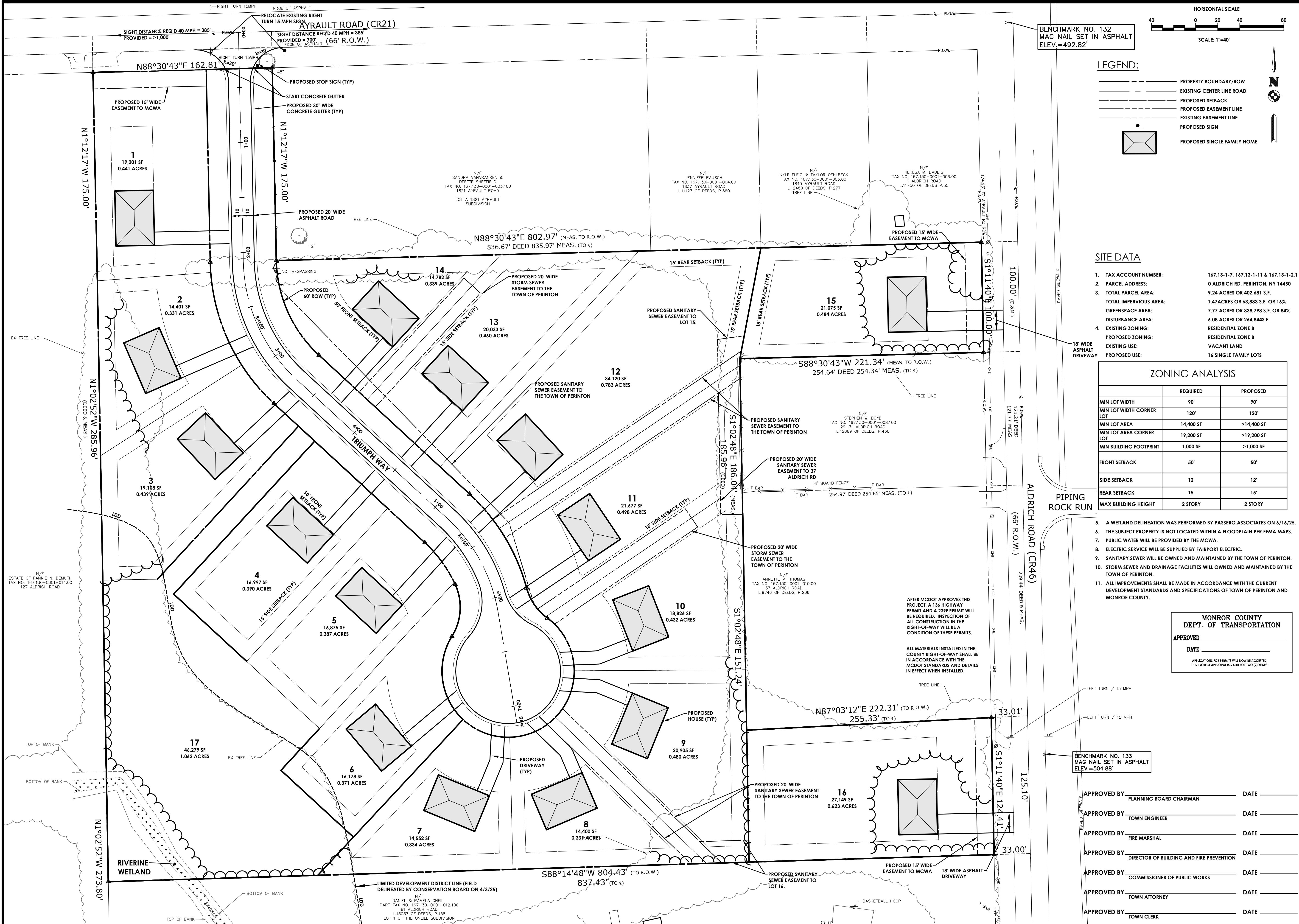
PROJECT NO.: **20254109.0000**

DRAWING NO.: **C-102**

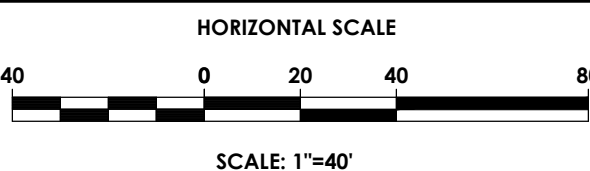
DATE: **MAY 2025**

NOT FOR CONSTRUCTION

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BENCHMARK NO. 132
MAG NAIL SET IN ASPHALT
ELEV.=492.82'



LEGEND:

- PROPERTY BOUNDARY/ROW
- EXISTING CENTER LINE ROAD
- PROPOSED SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- PROPOSED SIGN
- PROPOSED SINGLE FAMILY HOME

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**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THE PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

BENCHMARK NO. 133
MAG NAIL SET IN ASPHALT
ELEV.=504.88'

APPROVED BY _____	DATE _____
PLANNING BOARD CHAIRMAN	
APPROVED BY _____	DATE _____
TOWN ENGINEER	
APPROVED BY _____	DATE _____
FIRE MARSHAL	
APPROVED BY _____	DATE _____
DIRECTOR OF BUILDING AND FIRE PREVENTION	
APPROVED BY _____	DATE _____
COMMISSIONER OF PUBLIC WORKS	
APPROVED BY _____	DATE _____
TOWN ATTORNEY	
APPROVED BY _____	DATE _____
TOWN CLERK	

COX

ENGINEERING

STAMP:

CLIENT:
IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

PROJECT MANAGER	DAVID COX PE
PROJECT ENGINEER	DAVID COX PE
DESIGNER	DAVID COX PE

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SITE PLAN

PERINTON RESERVE

MUNICIPALITY: Perinton
COUNTY: Monroe
STATE: NY

PROJECT NO.:
20254109.0000

DRAWING NO.:
C-103

DATE:
MAY 2025

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COX

ENGINEERING

MACEDON CENTER RD
AYRAULT RD
HOGAN RD
MASON RD
ALDRICH RD
RT 31
SITE 2

LOCATION SKETCH
N.T.S.

STAMP:

STATE OF NEW YORK
DAVID COX PE
090452
REGISTERED PROFESSIONAL ENGINEER

CLIENT:
IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

PROJECT MANAGER	DAVID COX PE		
PROJECT ENGINEER	DAVID COX PE		
DESIGNER	DAVID COX PE		
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EXISTING CONDITIONS/ DEMO PLAN

PERINTON RESERVE

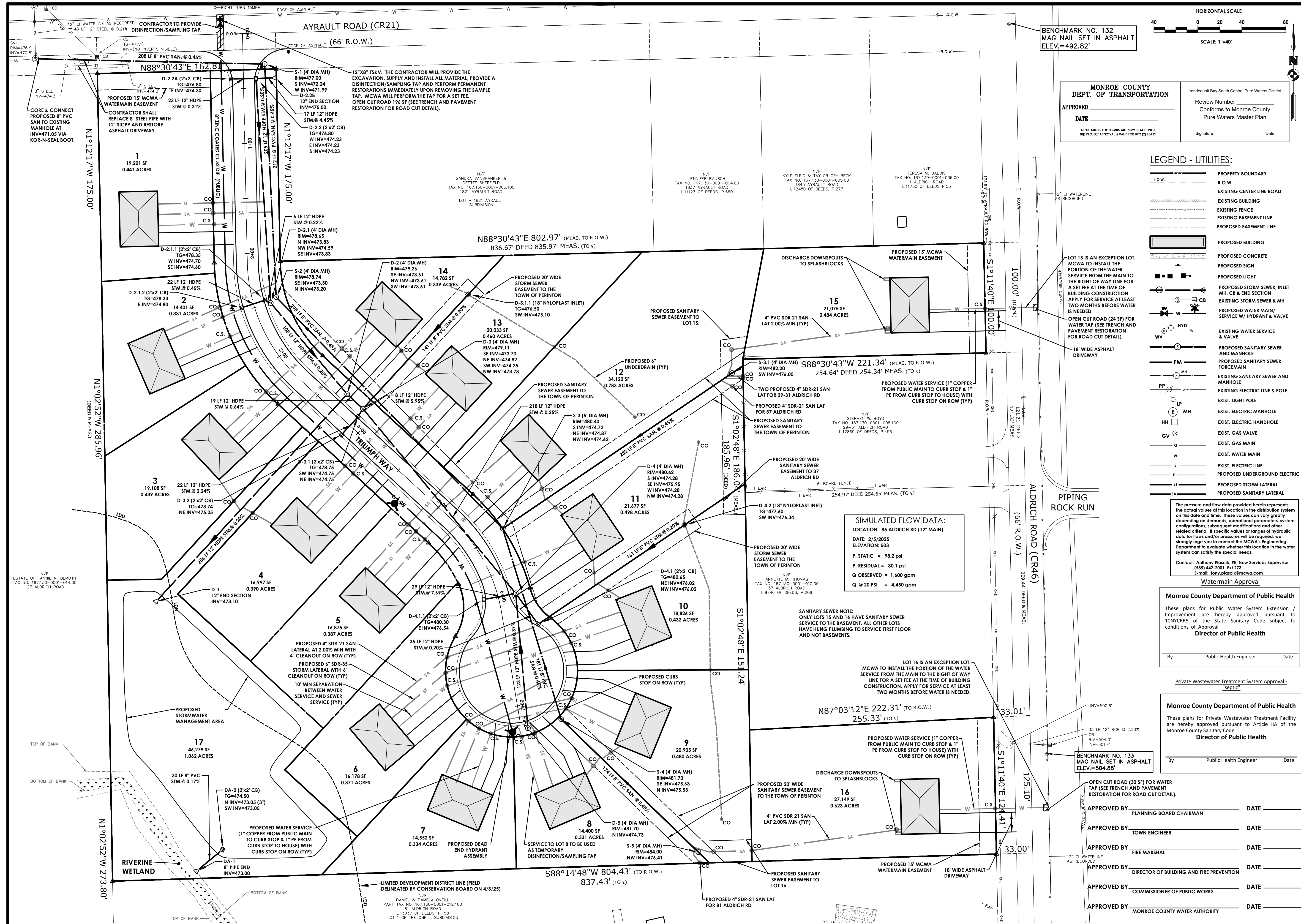
MUNICIPALITY: Perinton
COUNTY: Monroe
STATE: NY

PROJECT NO.: 20254109.0000

DRAWING NO.: C-104

DATE: MAY 2025

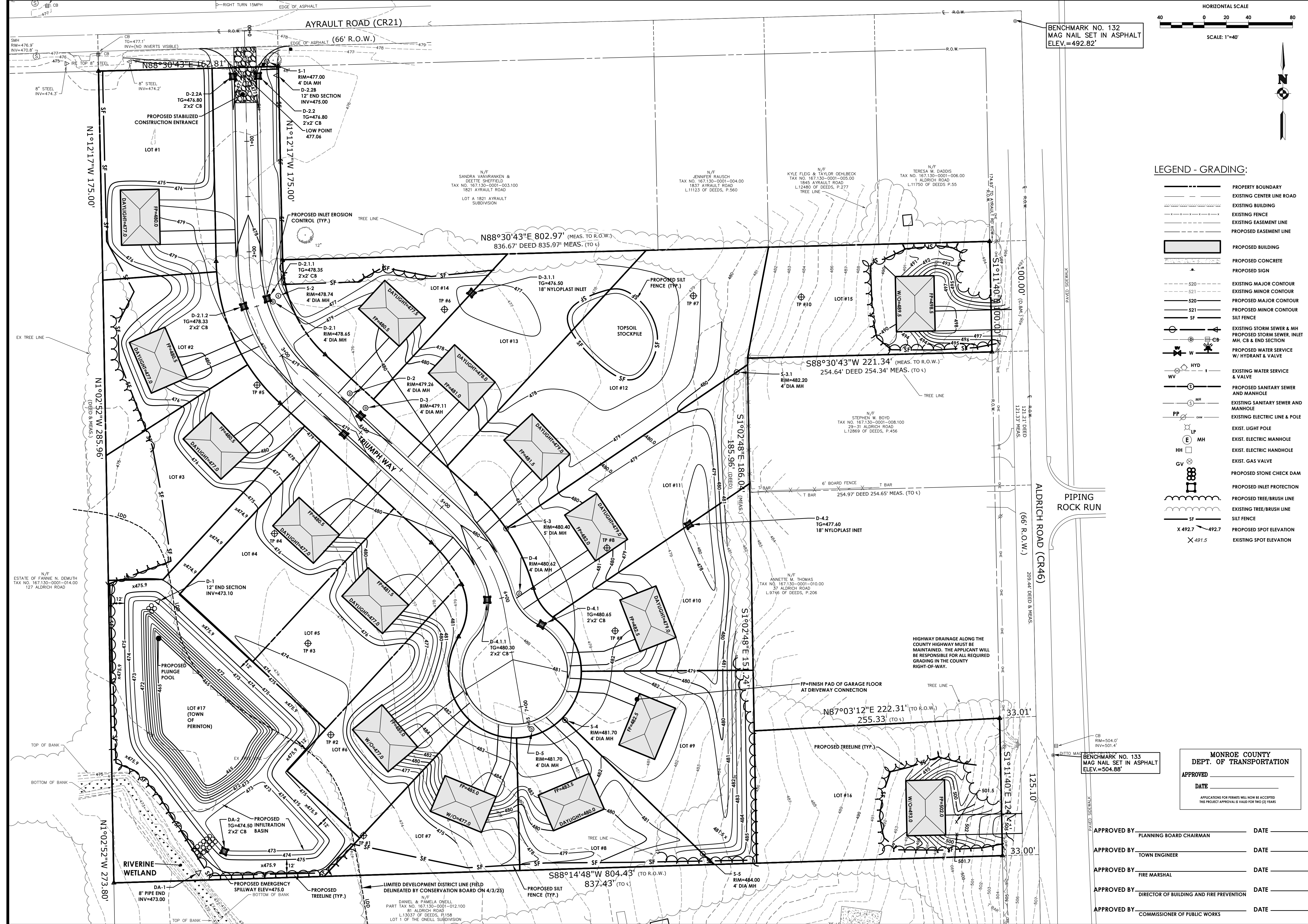
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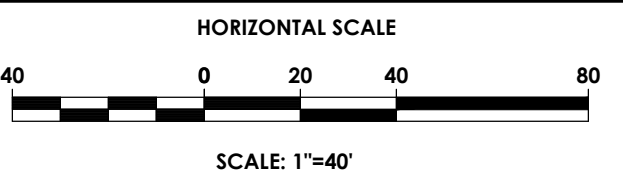
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DATE: **MAY 2025**

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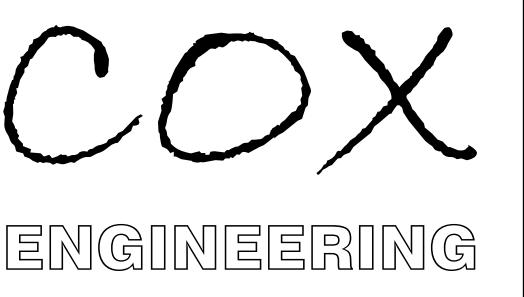


BENCHMARK NO. 132
MAG NAIL SET IN ASPHALT
ELEV.=492.82'



LEGEND - GRADING:

- PROPERTY BOUNDARY
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SILT FENCE
- EXISTING STORM SEWER & MH
- PROPOSED STORM SEWER, INLET MH, CB & END SECTION
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SILT FENCE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION



STAMP:



CLIENT:
IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

NO.	DATE	BY	DESCRIPTION
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GRADING
PLAN &
EROSION
CONTROL

PERINTON RESERVE

MUNICIPALITY: Perinton
COUNTY: Monroe
STATE: NY

PROJECT NO.:
20254109.0000

DRAWING NO.:
C-106

DATE:
MAY 2025

APPROVED BY: _____ DATE: _____
PLANNING BOARD CHAIRMAN

APPROVED BY: _____ DATE: _____
TOWN ENGINEER

APPROVED BY: _____ DATE: _____
FIRE MARSHAL

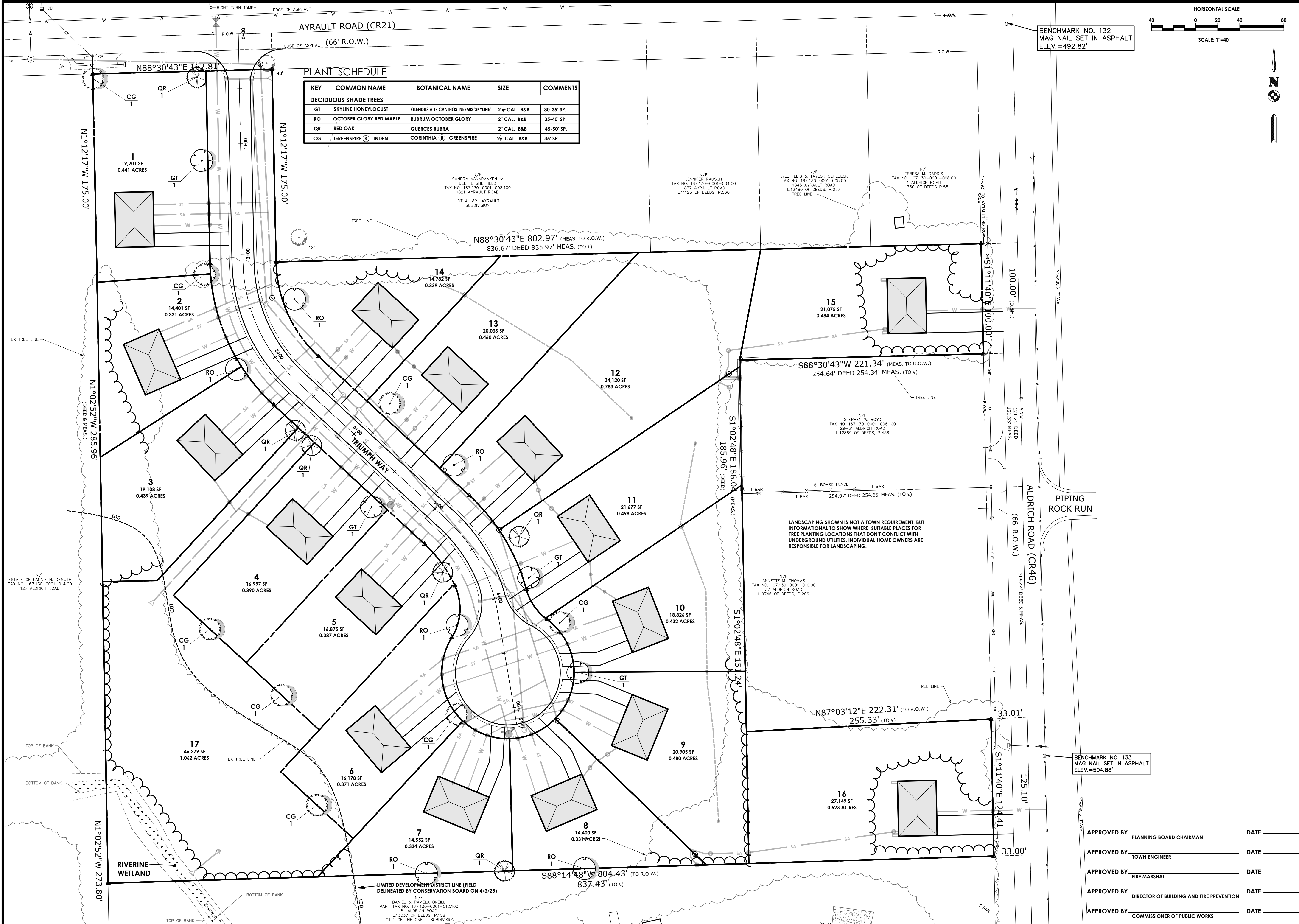
APPROVED BY: _____ DATE: _____
DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS

MONROE COUNTY
DEPT. OF TRANSPORTATION
APPROVED
DATE
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

NOT FOR CONSTRUCTION

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COX

ENGINEERING

MACEDON CENTER RD

AYRAULT RD

ONE CANAL

TURK HILL RD

HOGAN RD

MASON RD

ALDRICH RD

RT 31

SITE 2

STATE OF NEW YORK

DAVID LLOYD COX

090452

REGISTERED PROFESSIONAL ENGINEER

CLIENT:

IGWT DEVELOPMENT LLC

677 GASBERRY LN

WEBSTER, NY 14580

PROJECT MANAGER

DAVID COX PE

PROJECT ENGINEER

DAVID COX PE

DESIGNER

DAVID COX PE

NO.	DATE	BY	DESCRIPTION
1	6/19/25	DC	REVISED PER TOWN STAFF COMMENTS
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LANDSCAPE PLAN

PERINTON RESERVE

MUNICIPALITY: Perinton

COUNTY: Monroe

STATE: NY

PROJECT NO.:

20254109.0000

DRAWING NO.:

C-107

DATE:

MAY 2025

APPROVED BY: PLANNING BOARD CHAIRMAN

APPROVED BY: TOWN ENGINEER

APPROVED BY: FIRE MARSHAL

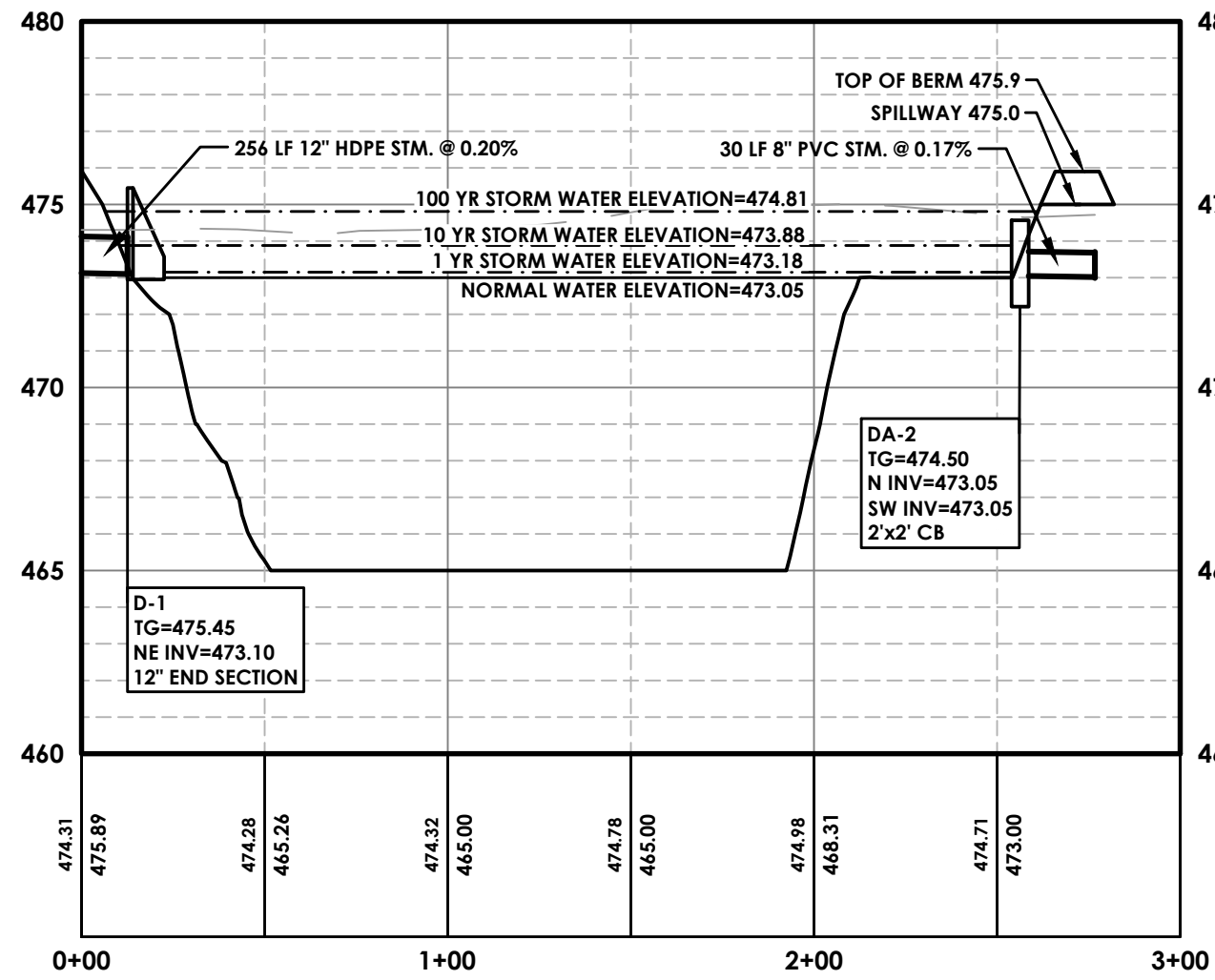
APPROVED BY: DIRECTOR OF BUILDING AND FIRE PREVENTION

APPROVED BY: COMMISSIONER OF PUBLIC WORKS

DATE:

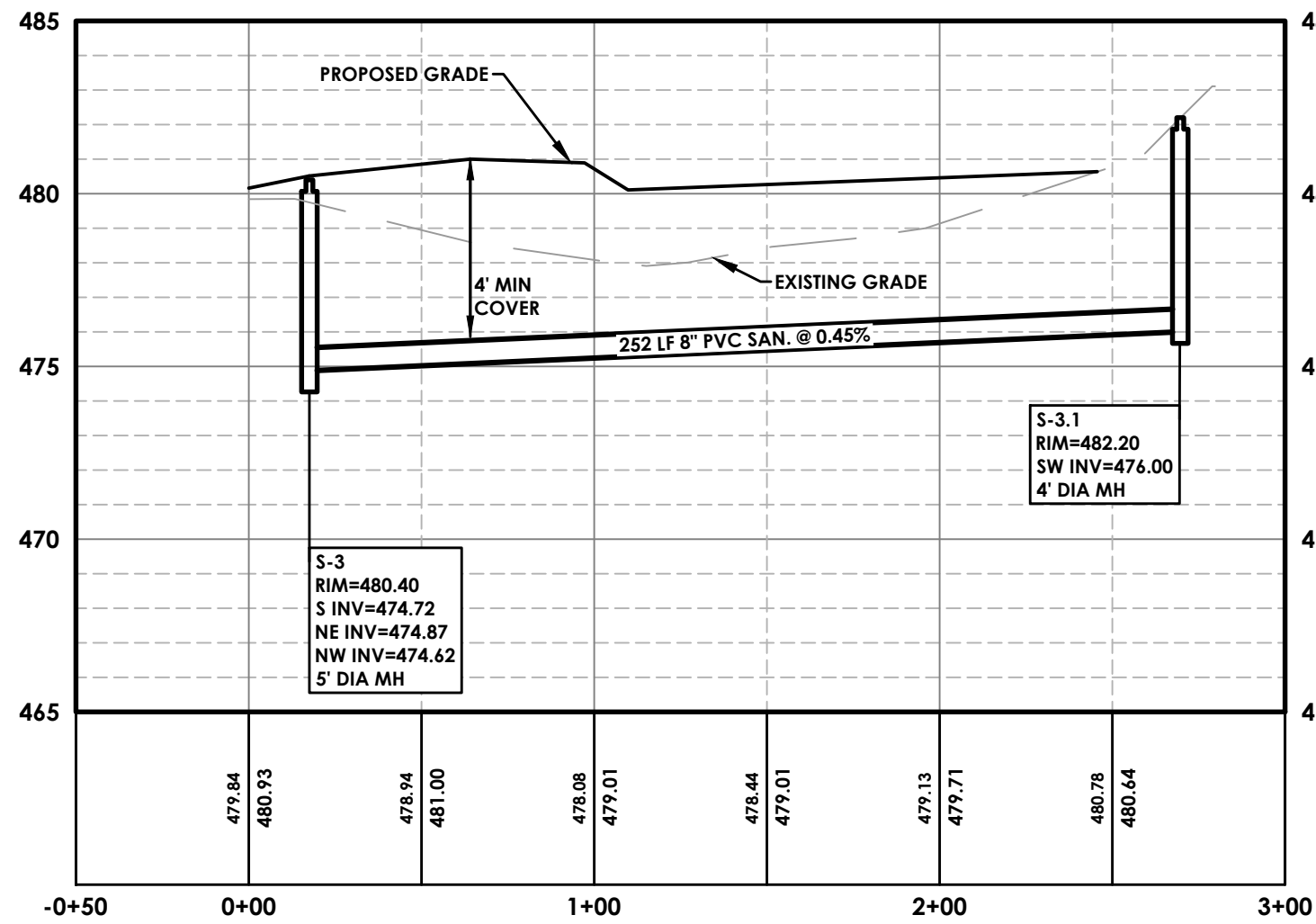
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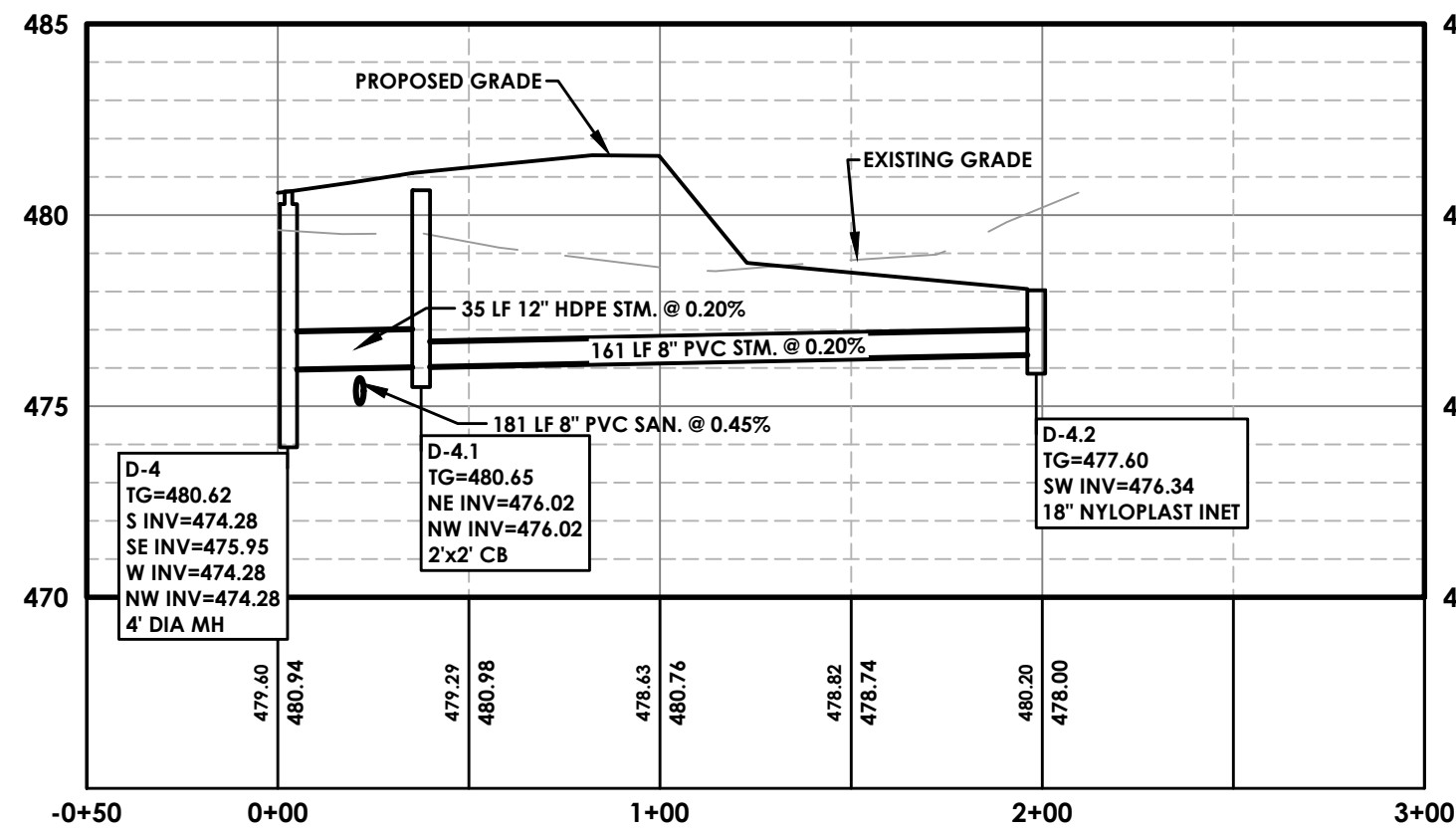
STORMWATER MANAGEMENT AREA PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



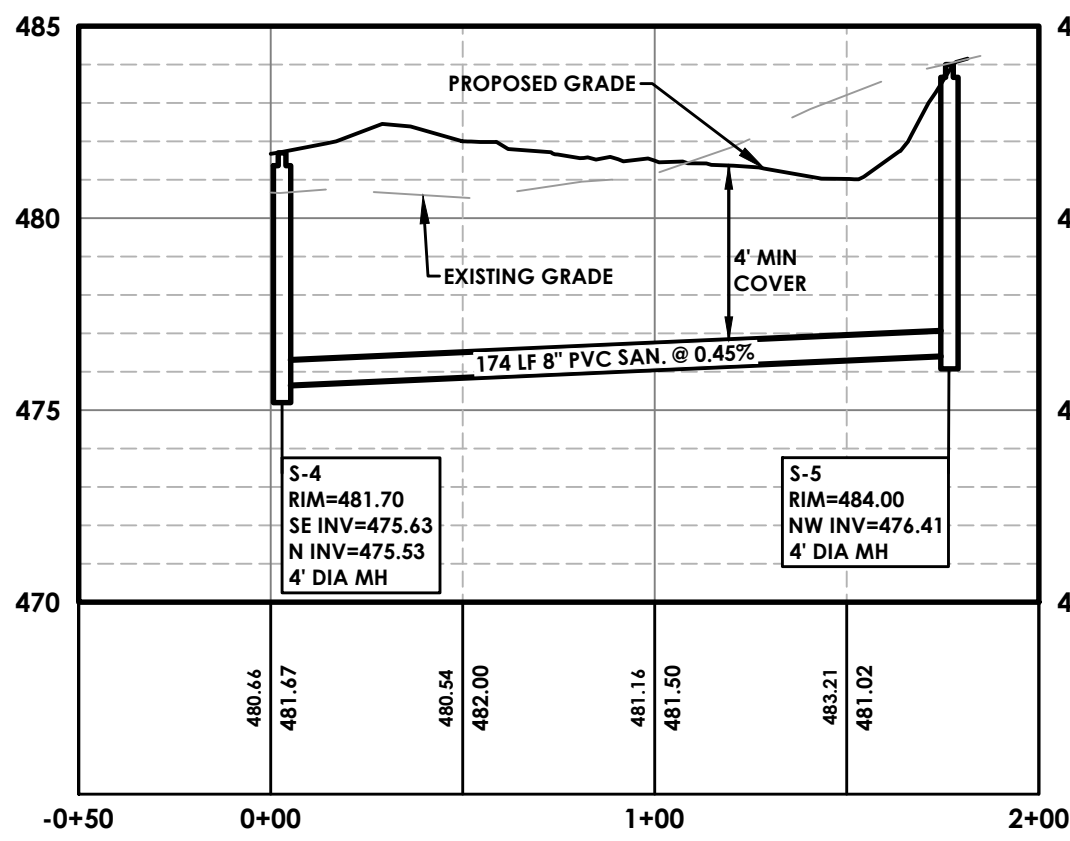
S-3 to S-3.1 PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



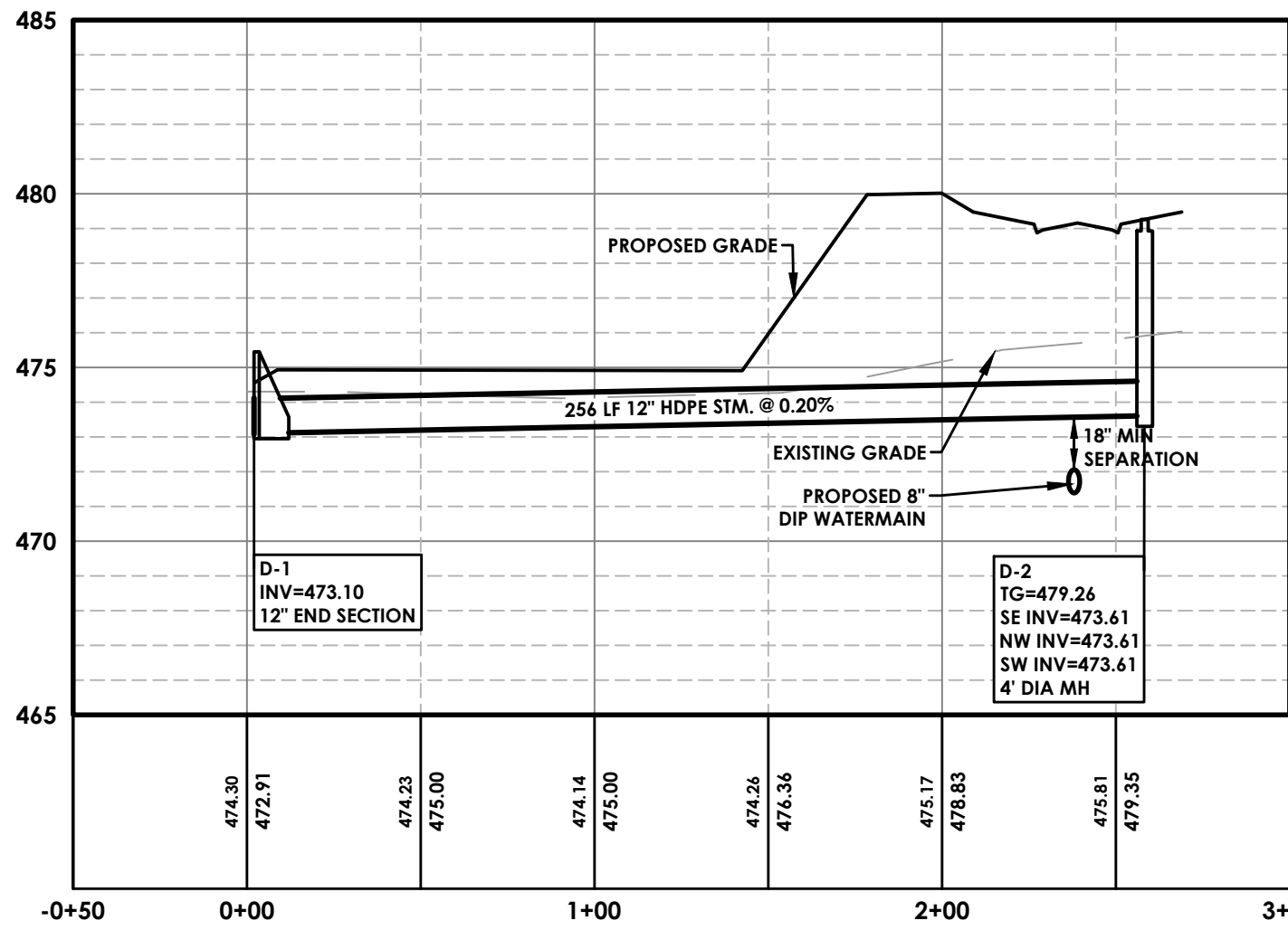
D-4 to D-4.2 PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



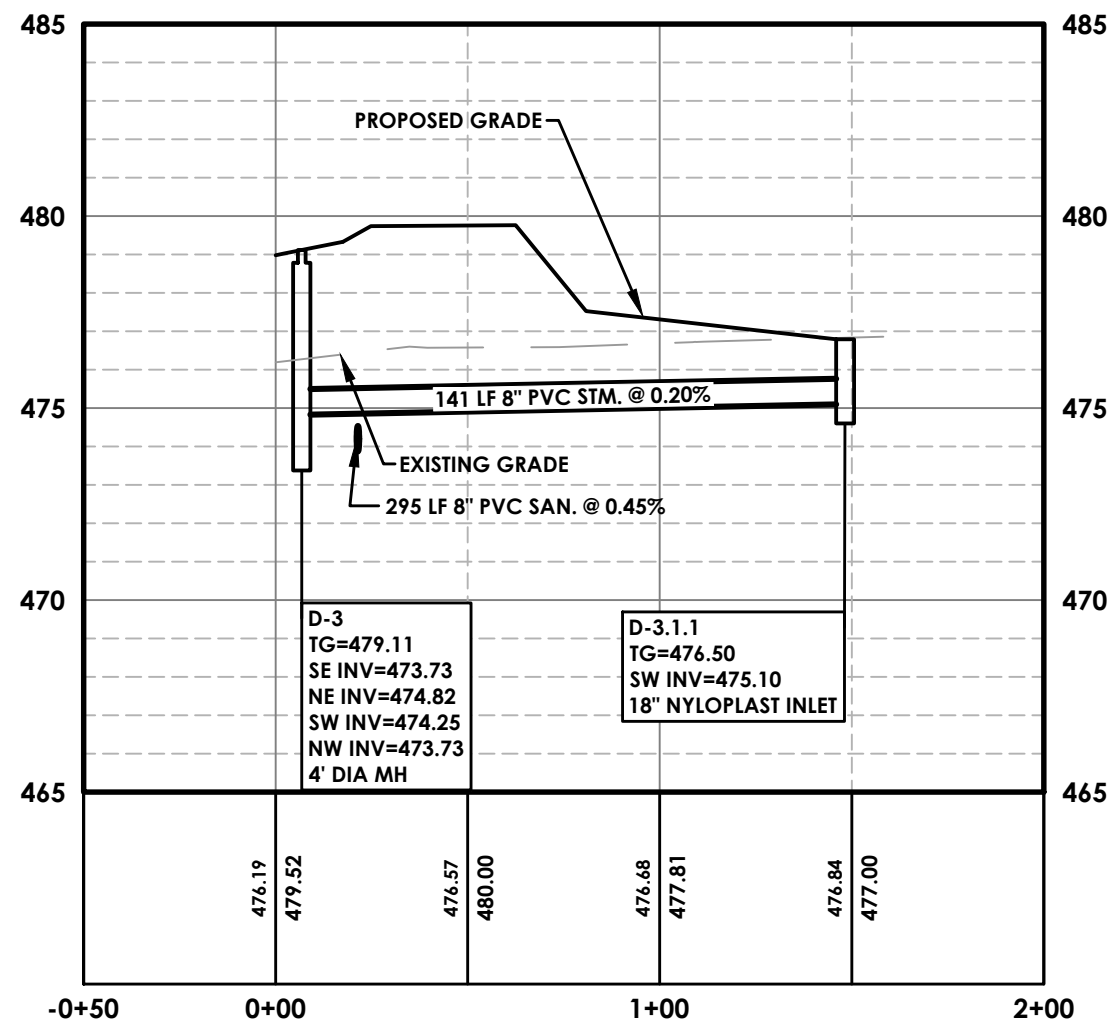
S-4 to S-5 PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



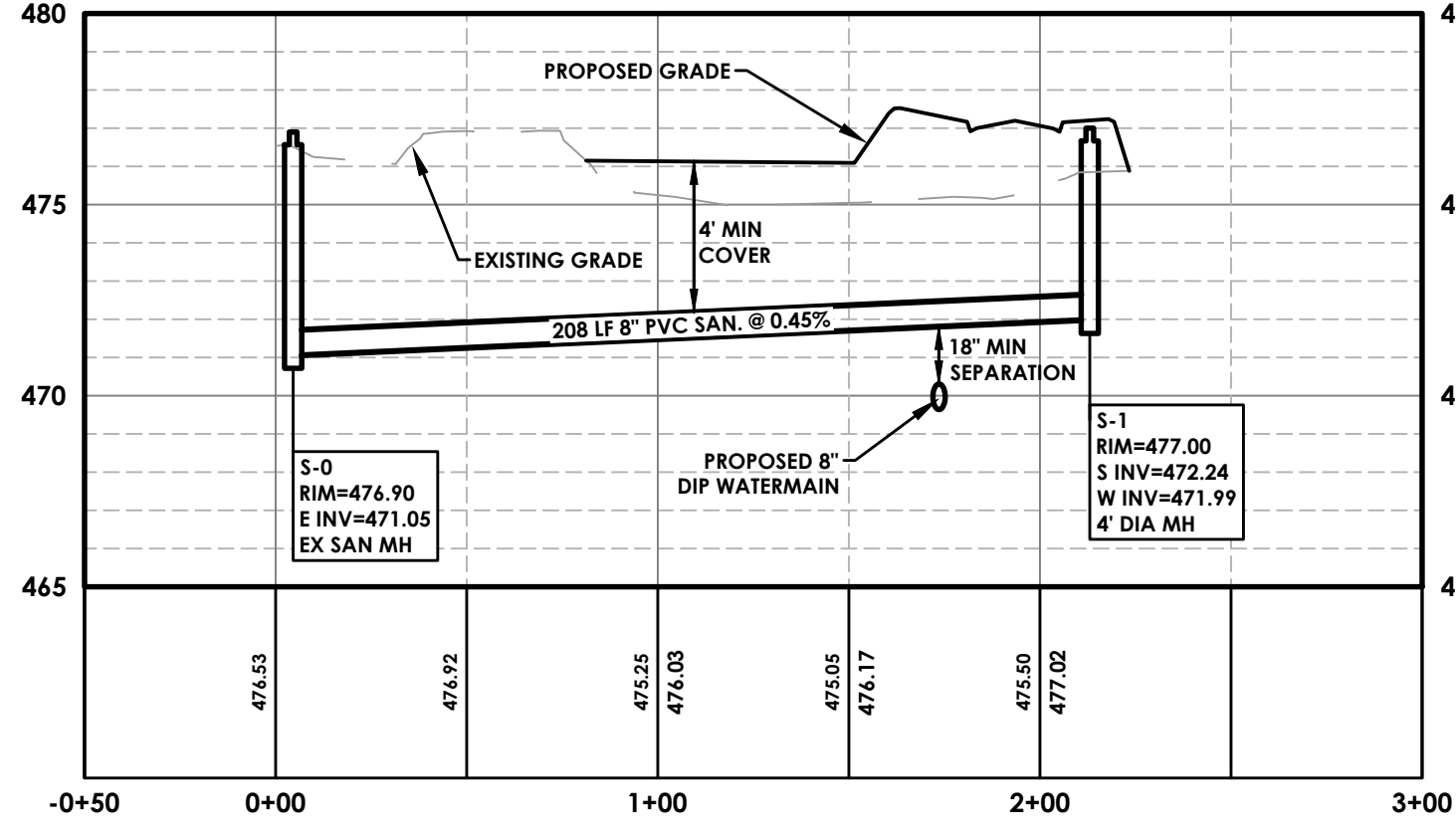
D-1 to D-2 PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



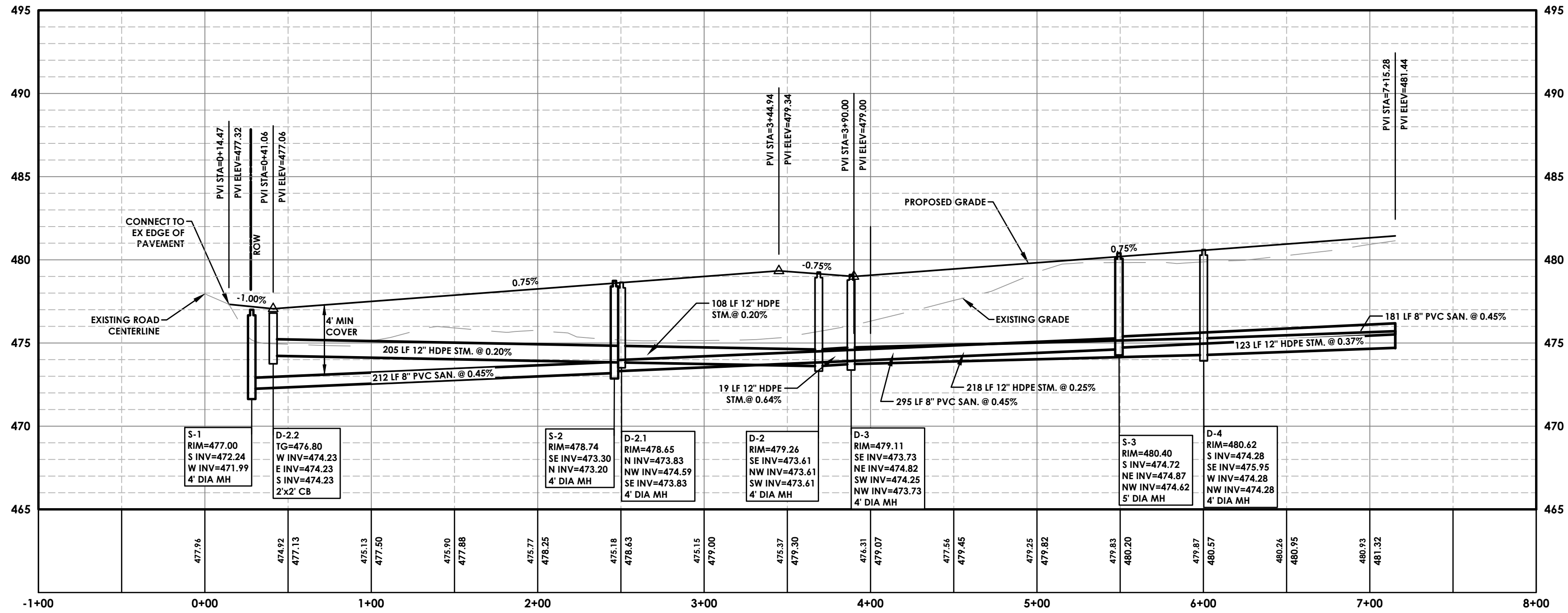
D-3 to D-3.1.1 PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



S-0 to S-1 PROFILE

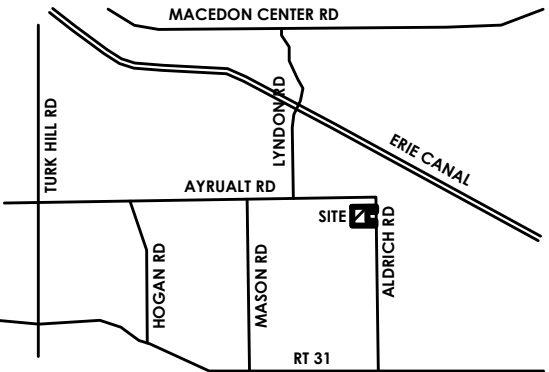
SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'



TRIUMPH WAY PROFILE

SCALE: HORIZONTAL - 1" = 50'
VERTICAL - 1" = 5'

COX
ENGINEERING



LOCATION SKETCH
N.T.S.

STAMP:



CLIENT:
IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

NO.	DATE	BY	DESCRIPTION
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PROFILE SHEET

PERINTON RESERVE

MUNICIPALITY: Perinton
COUNTY: Monroe STATE: NY

PROJECT NO.:
20254109.0000

DRAWING NO.:
C-108

DATE:
MAY 2025

NOT FOR CONSTRUCTION

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CONSTRUCTION SEQUENCE FOR GRADING AND EROSION CONTROL:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. CONSTRUCT STORMWATER MANAGEMENT AREA AND EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.
3. CONSTRUCT DRAINAGE SWALES ALONG PROPERTY LINES AS SHOWN.
4. CLEAR AND GRUB THE PROJECT IMPROVEMENTS AREAS.
5. STRIP TOPSOIL AND STOCKPILE FOR LATER USE.
6. GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
7. CONSTRUCT SEDIMENTATION BARRIERS AS SHOWN ON THIS PLAN.
8. REPLACE TOPSOIL AND FINE GRADE.
9. HYDRO-SEED ALL DISTURBED AREAS WITHIN 10 DAYS AFTER FINAL GRADING. THE CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
10. UPON APPROVAL OF THE TOWN, REMOVE ALL TEMPORARY SILTATION CONTROLS.
11. SLOPES SHALL NOT EXCEED 1" VERTICAL TO 3" HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
12. MINIMUM OF 6" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS ABOVE. CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SILTATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER REVEGETATION HAS BEEN ESTABLISHED.
15. ALL END SECTIONS WILL BE PROVIDED WITH RIP-RAP APRONS.
16. ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

AT THE VERY MINIMUM, EROSION CONTROL SHALL BE AS SHOWN ON THIS PLAN. EROSION CONTROL MAY CONSIST OF SEDIMENT TRAPS AND/OR ENVIRONMENTAL FENCES. THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INTEGRITY, MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES UNTIL NO LONGER DEEMED NECESSARY BY THE TOWN OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN THE STORM SEWER SYSTEM UNTIL THE PROJECT IS DEVELOPED AND APPROVED BY THE TOWN AND OWNER.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE PERMITTEE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STONE FILL, CORRODIVE RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS. THE TOWN MAY MONITOR OR A TOWN REPRESENTATIVE, SHALL BE INITIATED WITHIN 24 HOURS OF BEING REPORTED. THE TOWN MAY REVIEW THE PROJECT SITE AT ANY TIME. REVIEW OF EROSION CONTROL MEASURES BY THE TOWN DOES NOT RELIEVE THE DEVELOPER OF HIS OBLIGATIONS UNDER THE NYSDEC SPDES GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITY. (GP-0-0-001).

SOIL RESTORATION NOTES:

1. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
2. ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE CLEANED OFF SITE.
3. APPLY TOPSOIL TO A DEPTH OF 6 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
4. VEGETATE AS REQUIRED BY APPROVED PLAN.

TOPSOIL AND SEEDING NOTES:

1. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS (BEDS AND ISLANDS).
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
3. REMOVE ALL EXISTING VEGETATION DURING GRADING PROCESS.
4. APPLY MINIMUM OF SIX (6) INCHES OF CLEAN TOPSOIL (IMPORTED OR SCREEN ON-SITE) AND FINE GRADE, LEAVING TOPSOIL IN A LOOSE AND FRABLE CONDITION FOR SEEDING.
5. LIME SOIL OR ADD OTHER ORGANIC AMENDMENTS AS NECESSARY TO ACHIEVE A SOIL PH BETWEEN 5.5 - 7.0.
6. LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
7. SEEDING SHOULD BEGIN IMMEDIATELY UPON COMPLETION OF FINE GRADING. SEED SHOULD BE PRESSED INTO THE SOIL TO CREATE GOOD SEED-TO-SOIL CONTACT, NO DEEPER THAN THE THICKNESS OF THE SEED.
8. FERTILIZING, APPLY 10-0-10 FERTILIZER EVENLY AT THE RATE OF 20 POUNDS PER 1000 SQ. FT. NO FERTILIZER CONTAINING PHOSPHORUS IS PERMITTED ON SITE.
9. SEED SHOULD BE APPLIED EITHER BY HAND BROADCASTING OR HYDRO SEEDING. TWO PASSES SHALL BE MADE IN PERPENDICULAR DIRECTIONS TO INSURE PROPER COVERAGE.
10. LAWN SEED MIX

MIX A: SEEDING RATE: 4 LBS./1,000 SQ.FT
LOW MAINTENANCE FESCUE LAWN
PREFERRED SEED : LOW MAINTENANCE GRASS SEED MIX OR APPROVED EQUAL

25% FIRELY HARD FESCUE
25% BIG HORN GT HARD/SHEEP
20% INTRIGUE CHEWINGS FESCUE
20% QUATRO SHEEP FESCUE
10% MINOTAUR HARD FESCUE

11. DRY APPLICATION MULCH
- A. STRAW MULCH SHOULD BE APPLIED TO NEWLY SEEDED AREAS WITHIN 12 HOURS IF HYDRO MULCH IS NOT UTILIZED.
- B. DRY APPLICATION, STRAW: STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS WHICH ARE FREE OF NOXIOUS WEEDS. WEIGHT SHALL BE BASED ON A 15 PERCENT MOISTURE CONTENT.
- C. DRY APPLICATION: WITHIN ONE DAY AFTER SEEDING, COVER THE SEEDED AREAS WITH A UNIFORM BLANKET OF STRAW MULCH AT THE RATE OF 100 POUNDS PER 1000 SQ FT OF SEEDED AREA.

12. HYDRO APPLICATION: APPLY APPROVED MULCH IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDED RATES OF APPLICATION. APPLY SEEDING MATERIALS WITH AN APPROVED HYDRO SEEDER.

A. COLORED WOOD CELLULOSE FIBER PRODUCT SPECIFICALLY DESIGNED FOR USE AS A HYDRO-MECHANICAL APPLIED MULCH. ACCEPTABLE PRODUCT: CONWED HYDRO MULCH, CONWED FIBERS, 231 4TH STREET SW, HICKORY, NC

13. FILL TANK WITH WATER AND AGITATE WHILE ADDING SEEDING MATERIALS. USE SUFFICIENT FERTILIZER, MULCH, AND SEED TO OBTAIN THE SPECIFIED APPLICATION RATE. ADD SEED TO THE TANK AFTER THE FERTILIZER AND MULCH HAVE BEEN ADDED. MAINTAIN CONSTANT AGITATION TO KEEP CONTENTS IN HOMOGENEOUS SUSPENSION. PROLONGED DELAYS IN APPLICATION OR AGITATION THAT MAY BE INJURIOUS TO THE SEED WILL BE THE BASIS OF REJECTION OF MATERIAL REMAINING IN TANK.

14. DISTRIBUTE UNIFORMLY A SLURRY MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ FT (2500 GALLONS PER ACRE). THE OWNER AND PROJECT REPRESENTATIVE MAY ORDER THE AMOUNT OF WATER INCREASED IF DISTRIBUTION OF SEEDING MATERIALS IS NOT UNIFORM.

STANDARD WATER MAIN EXTENSION NOTES:

1. THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.

ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTling OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
4. THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER

PUBLIC WATER SYSTEM NOTES

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Water Authority:

Material:

- Water main(s) shall be 8" -inch ductile iron cement-lined Class 52.
- Water service(s) shall be 1" -inch Type K Copper from the water main to the curb box and 1" -inch (Type K soft Copper or PE-8710) from the curb box to the meter.
- Water meter(s) shall be located on the interior of exterior walls immediately upon service entrance into the building(s). On metered services requiring a 1 1/2-inch or larger meter a bypass around the meter is required.
- All gate valves shall have stainless steel body and bonnet bolts.

Tests:

- Soil Test: The contractor shall provide a soil test evaluation to determine the need for polyethylene encasement per ANSI/AWWS C105/AZ1.5-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
- Pressure Test: Water mains to be pressure tested in accordance with the latest Water Authority specifications. A Water Authority representative must witness this test.
- Health Sample: The water main shall be disinfected equal to AWWA Standard Specifications, designation C651, by using the continuous feed method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Health Department with jurisdiction of the area. Fire hydrants are not acceptable sampling points. Approval and notification by the Health Department must be received before the main is placed in service.

Installation:

- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.
- Minimum vertical separation between water main and sewer mains shall be 18" measured from the outside of the pipe at the point of crossing. Minimum horizontal separation between water main and sewer mains shall be ten feet measured from the outside of the pipes. One full length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. Where a water main crosses under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains.
- Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade.
- All mechanical joint fittings (tees, bends, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks of appropriate size to provide thrust restraint.



DEC 2020
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TEMPORARY CONSTRUCTION AREA SEEDING NOTES:

1. THE AREA MUST BE ROUGH GRADED AND SLOPES PHYSICALLY STABLE.
2. SEEDING MUST TAKE PLACE WITHIN 24 HOURS OF DISTURBANCE OR SCARIFICATION OF THE SOIL WILL BE NEEDED PRIOR TO SEEDING.
3. TYPICALLY FERTILIZER OR LIME IS NOT USED FOR TEMPORARY SEEDINGS.
5. ANY SEEDING METHOD MAY BE USED THAT PROVIDES UNIFORM APPLICATION OF SEED TO THE AREA.
- SEEDING

PLANTING SEASON	SPECIES	RATE IN LBS./ACRE
SPRING, SUMMER, OR EARLY FALL	RYEGRASS (ANNUAL OR PERENNIAL)	30
LATE FALL OR EARLY WINTER	WINTER RYE (CEREAL RYE)	100

*MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE. WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL MAY BE USED IF APPLIED ACCORDING TO SPECIFICATIONS.

COMPACTION NOTES

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

LANDSCAPING NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN OF PERINTON, AND STATE DESIGN STANDARDS AND CODES.
2. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
3. STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 (LATEST EDITION) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS DELIVERED AND INSTALLED ON THIS PROJECT.
4. ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
5. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY IN THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
6. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AND MEET SIZE REQUIREMENTS AS INDICATED ON THE PLANT LIST.
7. ALL TREES MUST BE STRAIGHT-TRUNKED, INJURY FREE, HAVE A FULL, SYMMETRICAL CROWN (HEAD) AND MEET ALL REQUIREMENTS SPECIFIED (E.G. SINGLE STEM, MULTI-STEM, HEAVY BRANCHED, ETC.).
8. THE CONTRACTOR SHALL TAKE SPECIAL CARE IN PLANTING AND WATERING ALL PLANT VARIETIES THAT ARE CONSIDERED A FALL PLANTING HAZARD.
9. ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS. THE BID PRICE SUBMITTED WILL ASSUME THAT ALL PLANT MATERIALS DELINEATED WILL BE SUPPLIED AND INSTALLED. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR DESIGN LANDSCAPE ARCHITECT (OWNER'S REPRESENTATIVE) PRIOR TO COMPLETING A BID PRICE.
11. ALL GRADING AND UTILITY WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
12. THE FINAL LOCATION OF TREES AND OTHER LANDSCAPING SHALL BE DETERMINED IN THE FIELD BASED ON UTILITY STAKEOUT AND SHALL NOT CONFLICT WITH TRAFFIC SIGNS AND/OR UTILITIES. STAKE OUT SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. PLANTS TO BE LOCATED A MINIMUM OF FIVE (5') FROM ALL UNDERGROUND UTILITIES.
13. ANY CONCERNS RELATED TO SITE CONDITIONS AND/OR PLANT LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
14. PLANTING BACKFILL MIXTURE: 4 PARTS TOPSOIL (ON-SITE OR IMPORTED), 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE AND 10 LBS. 5-0-5 PLANTING FERTILIZER, MIXED THOROUGHLY PER CUBIC YARD.
15. MULCH ALL PLANT BEDS, AND INDIVIDUAL TREES IN LAWN AREAS WITH SHREDED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3") INCHES UNLESS OTHERWISE SPECIFIED ON PLANTING DETAILS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT DUE TO SITE CONDITIONS.
16. ANY PLANT WHICH TURNS BROWN, DEFOOLIATES OR DIES PRIOR TO FINAL ACCEPTANCE BY THE OWNER, OR DESIGN LANDSCAPE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH THE SAME PLANT (SPECIES, VARIETY AND SIZE) AS SPECIFIED ON THE PLANT SCHEDULE (LIST).
17. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIALS AND LAWN AREAS UNTIL THE PROJECT HAS RECEIVED FINAL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: WATERING, MULCHING, FERTILIZING, SPRAYING (FUNGICIDE, PESTICIDE, ANTI-DESSICANT), AS WELL AS RAISING PLANTS THAT HAVE SETTLED TOO DEEP OR REQUIRE STRAIGHTENING.
18. UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, THE LANDSCAPE MATERIALS SHALL BE GUARANTEED FOR THREE (3) YEARS. THE GUARANTEE SHALL BE INCLUSIVE OF ALL MATERIAL AND LABOR COSTS. AT THE END OF THE GUARANTEE PERIOD THE OWNER'S REPRESENTATIVE WILL INSPECT ALL PLANT MATERIALS. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REQUIRED REPLACEMENTS WITH PLANT MATERIALS MEETING THE SPECIFICATIONS (E.G. SPECIES, SIZE AND CHARACTER).
19. ALL AREAS DISTURBED BY SITE GRADING AND/OR UTILITY INSTALLATION SHALL RECEIVE APPROVED TOPSOIL (BASED ON APPROVED SAMPLES SUBMITTED BY THE CONTRACTOR) AND SPREAD TO A DEPTH NOT LESS THAN SIX (6") INCHES AFTER COMPACTION. TOPSOIL PLACED FOR LAWNS SHALL BE FINE GRADED, SEEDDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. THIS IS EXCLUDING FOUNDATION PLANT BEDS, AND ENTRANCE AREAS.
20. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE SITE PLAN ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO CALL FOR A UTILITY STAKEOUT PRIOR TO COMMENCING PLANT INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES WHICH OCCURS AS A RESULT OF LANDSCAPE INSTALLATION OPERATIONS.
21. EXISTING TREES INDICATED TO BE REMOVED SHALL OCCUR UNDER THE SITE CONTRACT FOR THIS PROJECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANTINGS OR RESTORATION OF THE DISTURBED AREA (LAWNS, PLANT BEDS, ISLANDS).
22. PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL TREE AND PLANT BED AREAS.
23. ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL EDGE, CONCRETE, OR OTHER BORDER IS SPECIFIED.

EARTHWORK

1. PREPARATION - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS:
SITE DEMOLITION - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER: STRUCTURES, UTILITIES, PAVEMENTS, ETC.
CLEARING AND GRUBBING - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER: TREES, BRUSH, STUMPS, ETC.
TOPSOIL STRIPPING - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
2. RESPONSIBILITY - THE CONTRACTOR IS RESPONSIBLE FOR:
ESTIMATE - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
GRADE TOLERANCES - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
COMPACTION - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND EMBANKMENT ARE INTERCHANGEABLE.
CUTS - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
3. TESTING - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
85% IN REMAINING AREAS
THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.
4. LIFT THICKNESS - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
5. PROOF ROLLING - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

TOPSOIL AND SEEDING NOTES:

1. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING AND RE-SPREADING TOPSOIL IN ALL TURF AND LANDSCAPE AREAS (BEDS AND ISLANDS).
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
3. REMOVE ALL EXISTING VEGETATION DURING GRADING PROCESS.
4. APPLY MINIMUM OF EIGHT (8) INCHES OF CLEAN TOPSOIL(IMPORTED OR SCREEN ON -SITE) AND FINE GRADE, LEAVING TOPSOIL IN A LOOSE AND FRABLE CONDITION FOR SEEDING.
5. LIME SOIL OR ADD OTHER ORGANIC AMENDMENTS AS NECESSARY TO ACHIEVE A SOIL PH BETWEEN 5.5 - 7.0.
6. LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
7. SEEDING SHOULD BEGIN IMMEDIATELY UPON COMPLETION OF FINE GRADING. SEED SHOULD BE PRESSED INTO THE SOIL TO CREATE GOOD SEED-TO-SOIL CONTACT, NO DEEPER THAN THE THICKNESS OF THE SEED.
8. FERTILIZING, APPLY 10-0-10 FERTILIZER EVENLY AT THE RATE OF 20 POUNDS PER 1000 SQ.FT. NO FERTILIZER CONTAINING PHOSPHORUS IS PERMITTED ON SITE.
9. SEED SHOULD BE APPLIED EITHER BY HAND BROADCASTING OR HYDRO SEEDING. TWO PASSES SHALL BE MADE IN PERPENDICULAR DIRECTIONS TO INSURE PROPER COVERAGE.
10. LAWN SEED MIX

MIX A: SEEDING RATE: 4 LBS./1,000 SQ.FT
LOW MAINTENANCE FESCUE LAWN
PREFERRED SEED : LOW MAINTENANCE GRASS SEED MIX OR APPROVED EQUAL

25% FIRELY HARD FESCUE
25% BIG HORN GT HARD/SHEEP
20% INTRIGUE CHEWINGS FESCUE
20% QUATRO SHEEP FESCUE
10% MINOTAUR HARD FESCUE

MIX B: SEEDING RATE: 4LBS./1,000 SQ.FT
OCCASIONAL WET - WET LOCATIONS (BIORETENTION):
20% RED TOP
20% ALKALI GRASS
10% AUTUMN BENTGRASS

20% FOX SEDGE
10% FOWL BLUEGRASS

11. DRY APPLICATION MULCH
- A. STRAW MULCH SHOULD BE APPLIED TO NEWLY SEEDED AREAS WITHIN 12 HOURS IF HYDRO MULCH IS NOT UTILIZED.
- B. DRY APPLICATION, STRAW: STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS WHICH ARE FREE OF NOXIOUS WEEDS. WEIGHT SHALL BE BASED ON A 15 PERCENT MOISTURE CONTENT.
- C. DRY APPLICATION: WITHIN ONE DAY AFTER SEEDING, COVER THE SEEDED AREAS WITH A UNIFORM BLANKET OF STRAW MULCH AT THE RATE OF 100 POUNDS PER 1000 SQFT OF SEEDED AREA.
12. HYDRO APPLICATION: APPLY APPROVED MULCH IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDED RATES OF APPLICATION. APPLY SEEDING MATERIALS WITH AN APPROVED HYDRO SEEDER.
- A. COLORED WOOD CELLULOSE FIBER PRODUCT SPECIFICALLY DESIGNED FOR USE AS A HYDRO-MECHANICAL APPLIED MULCH. ACCEPTABLE PRODUCT: CONWED HYDRO MULCH, CONWED FIBERS, 231 4TH STREET SW, HICKORY, NC
13. FILL TANK WITH WATER AND AGITATE WHILE ADDING SEEDING MATERIALS. USE SUFFICIENT FERTILIZER, MULCH, AND SEED TO OBTAIN THE SPECIFIED APPLICATION RATE. ADD SEED TO THE TANK AFTER THE FERTILIZER AND MULCH HAVE BEEN ADDED. MAINTAIN CONSTANT AGITATION TO KEEP CONTENTS IN HOMOGENEOUS SUSPENSION. PROLONGED DELAYS IN APPLICATION OR AGITATION THAT MAY BE INJURIOUS TO THE SEED WILL BE THE BASIS OF REJECTION OF MATERIAL REMAINING IN TANK.
14. DISTRIBUTE UNIFORMLY A SLURRY MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ FT (2500 GALLONS PER ACRE). THE OWNER AND PROJECT REPRESENTATIVE MAY ORDER THE AMOUNT OF WATER INCREASED IF DISTRIBUTION OF SEEDING MATERIALS IS NOT UNIFORM.

WATERING PLAN:

1. ALL TREES TO BE CONTINUOUSLY WATERED WITH TWO (2) WATER BAGS PER TREE. BAGS ARE TO BE INSPECTED TWICE A WEEK TO ENSURE THAT THEY ARE FILLED AS REQUIRED.

UTILITY NOTES:

1. PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL UTILITY CONNECTIONS WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR INCLUDING BUT NOT LIMITED TO VERTICAL AND HORIZONTAL LOCATION, PENETRATIONS, AND SIZES. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION OF COORDINATION WITH CONTRACTORS, AND PLANS.
2. THE DEVELOPER AND HIS/HER CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRICAL, CABLE, TELEPHONE AND ANY OTHER UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET WITH APPROPRIATE AGENCY. PASSERO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PERFORMANCE OF UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET.
3. PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY AND COORDINATE WITH EXISTING UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION OF UTILITY VERIFICATION.
4. THRUST BLOCKS ON THE WATERMAIN ARE REQUIRED AT BENDS, TEES OR PLUGS. SEE DETAIL SHEETS FOR THRUST BLOCK DETAILS.

MCDOT NOTES:

1. HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT SHALL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. AFTER MCDOT APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
2. ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MCDOT STANDARDS AND DETAILS IN EFFECT WHEN INSTALLED.
4. IF ANY SIGNS IN THE MONROE COUNTY RIGHT-OF-WAY NEED TO BE INSTALLED, REPLACED, REMOVED OR TEMPORARILY REMOVED DURING CONSTRUCTION, CONTRACTOR SHALL CONTACT JOHN SCHWARTZ (585-753-7738) OF MCDOT AT LEAST 1 WEEK PRIOR TO REMOVAL OR INSTALLATION.
5. THE OWNER SHALL REMOVE AND MAINTAIN ALL TREES/SHRUBS TO THE RIGHT-OF-WAY OR A POINT 15 FEET FROM THE EDGE OF TRAVEL LANE (WHICHEVER IS GREATER) ALONG THE PROPERTY FRONTAGE, IN ORDER TO MAXIMIZE SIGHT DISTANCE FROM THE PROPOSED DRIVEWAY.

EROSION AND SEDIMENT CONTROL NOTES:

(OCTOBER 2017)

1. IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS, AND IF NECESSARY, MODIFY THE PLAN WITH THE CONTRACTOR'S INTENDED SEQUENCE AND TYPES OF OPERATIONS. THE CONTRACTOR'S MODIFIED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, ALONG WITH A PROGRESS SCHEDULE THAT ADDRESSES THIS WORK.
2. IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL DESIGNATE AN "EROSION AND SEDIMENT CONTROL SUPERVISOR" FOR THE PROJECT. THE SUPERVISOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AND FOR INSPECTING AND MAINTAINING THE CONTROL MEASURES. THE NAME AND QUALIFICATIONS (TRAINING AND EXPERIENCE) OF THIS INDIVIDUAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO STARTING EARTHWORK.
3. THE DESIGNATED "EROSION AND SEDIMENT CONTROL SUPERVISOR" SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY FIELD CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED IN THE CONTRACT DOCUMENTS. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO SUBMIT A MODIFIED EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO IMPLEMENTING ANY FIELD CHANGES.
4. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL DEVICES BEFORE ENTERING A WATER BODY OR WETLAND.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE FOR WHICH THEY ARE INTENDED AND SHALL REMAIN IN PLACE UNTIL SOILS ARE PERMANENTLY STABILIZED.
6. UNDER NO CONDITION SHALL DISCONTINUED CONSTRUCTION ACTIVITIES IN AREAS WITH SOIL DISTURBANCES BE LEFT FOR A PERIOD OF GREATER THAN 7 DAYS WITHOUT TEMPORARILY STABILIZING THOSE AREAS WITH TEMPORARY SEED AND MULCH. MAINTENANCE OF THOSE AREAS SHALL INCLUDE RESEEDING AND REMULCHING AS NEEDED TO ESTABLISH A SATISFACTORY STAND OF GRASS. THERE SHALL BE NO ADDITIONAL PAYMENT FOR RESEEDING AND REMULCHING.

NO WET OR FRESH CONCRETE, LEACHATE, MATERIAL, OR DEBRIS SHALL BE ALLOWED TO ESCAPE INTO A WATER BODY OR WETLAND, NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER A WATER BODY OR WETLAND. ANY MATERIAL OR DEBRIS ACCIDENTALLY DROPPED INTO THE CHANNEL SHALL BE IMMEDIATELY AND COMPLETELY REMOVED AND DEPOSITED IN AN UPLAND AREA.

7. THE CONTRACTOR SHALL COVER TEMPORARY STOCKPILES OF ERODIBLE MATERIAL (SUCH AS TOPSOIL OR EARTH FIL) WITH POLY SHEETING, OR RING THE STOCKPILES WITH SILT FENCE TO CONTROL EROSION. POLY SHEETING SHALL COMPLETELY COVER THE STOCKPILE AND BE SECURELY ANCHORED AT ALL TIMES. ANY POLY SHEETING OR SILT FENCE THAT IS DAMAGED SHALL BE PROMPTLY REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER. RINGED STOCKPILES EXPOSED OR EXPECTED TO BE EXPOSED FOR LONGER THAN 7 CALENDAR DAYS SHALL IMMEDIATELY BE STABILIZED WITH APPROPRIATE MEASURES. THE COST OF COVERING AND RINGING/STABILIZING STOCKPILES SHALL BE INCLUDED IN THE PRICE BID FOR THE CORRESPONDING STOCKPILED MATERIAL.

SANITARY NOTES:

1. SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE STATE, COUNTY AND TOWN OF PERINTON.
2. MATERIALS
 - MAINS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
ASTM D-3034 (4" THRU 15")
ASTM F-679 (18" THRU 48")
 - LATERALS - 4" MIN. INSTALLED AT 1/4" PER FOOT MIN. PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
 - JOINTING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
3. ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE TOWN OF PERINTON.
4. ALL HOUSE LATERALS SHALL HAVE A CLEANOUT AT THE PROPERTY LINE OR EASEMENT LINE.
5. SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTling OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
6. SEWER USE LAW: FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

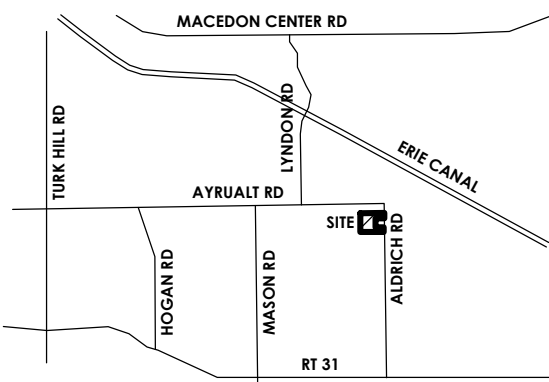
STORM NOTES:

1. STORM SEWER LATERAL MATERIAL SHALL BE PVC SDR-35 6" MIN. SIZE & SHALL BE LAID AT A MINIMUM GRADE OF 1.00% PER FT.
2. STORM SEWER MAIN MATERIAL INCLUDING CROSSOVERS SHALL BE ADS HDPE 12" MIN.
3. FOUNDATION DRAINS WILL BE CONNECTED TO STORM WATER SYSTEM. DOWNSPOUTS TO BE CONNECTED TO STORM SEWER WHERE APPLICABLE, AND CONTRACTOR SHALL PROVIDE APPROPRIATE FITTINGS TO CONNECT STORM SYSTEM TO ROOF LEADERS. OTHERWISE THE DOWNSPOUT SHALL DISCHARGE TO SPLASH BLOCKS.
4. AFTER PROJECT COMPLETION, THE STORM SYSTEM SHALL BE FLUSHED. ALL DEPOSITED SEDIMENT AT THE SEWER OUTLET SHALL BE REMOVED.

If you excavate anywhere in New York State, except NYC or Long Island, call

Dig Safely.
New York
1-800-962-7962
i-Notice = www.DigSafelyNewYork.com

MONROE COUNTY
DEPT. OF



LOCATION SKETCH
N.T.S.

STAMP:



CLIENT:
IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

NO	DATE	BY	DESCRIPTION
1	6/19/25	DC	REVISED PER TOWN STAFF COMMENTS
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DETAIL SHEET

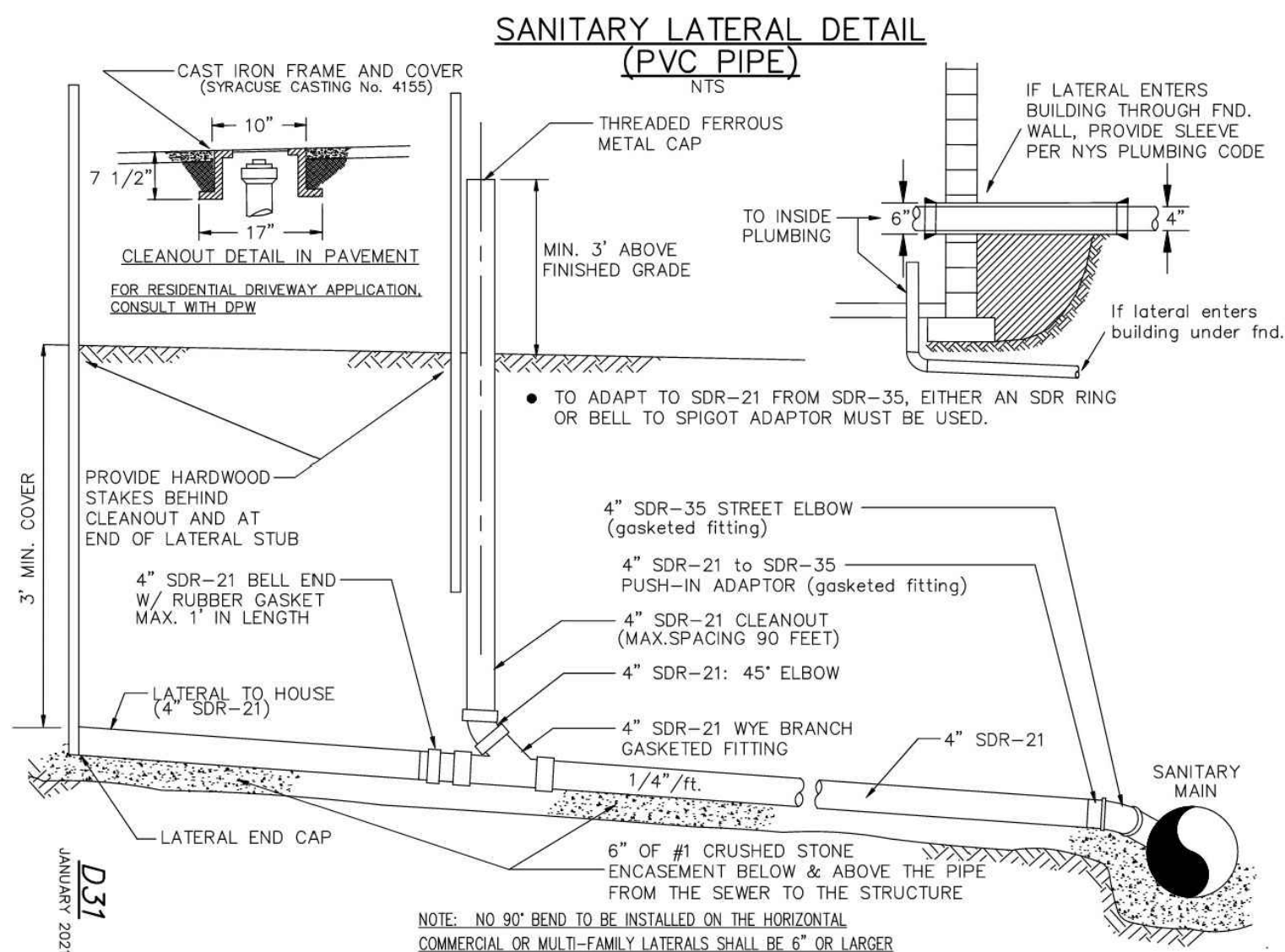
PERINTON RESERVE

MUNICIPALITY: Perinton
COUNTY: Monroe
STATE: NY

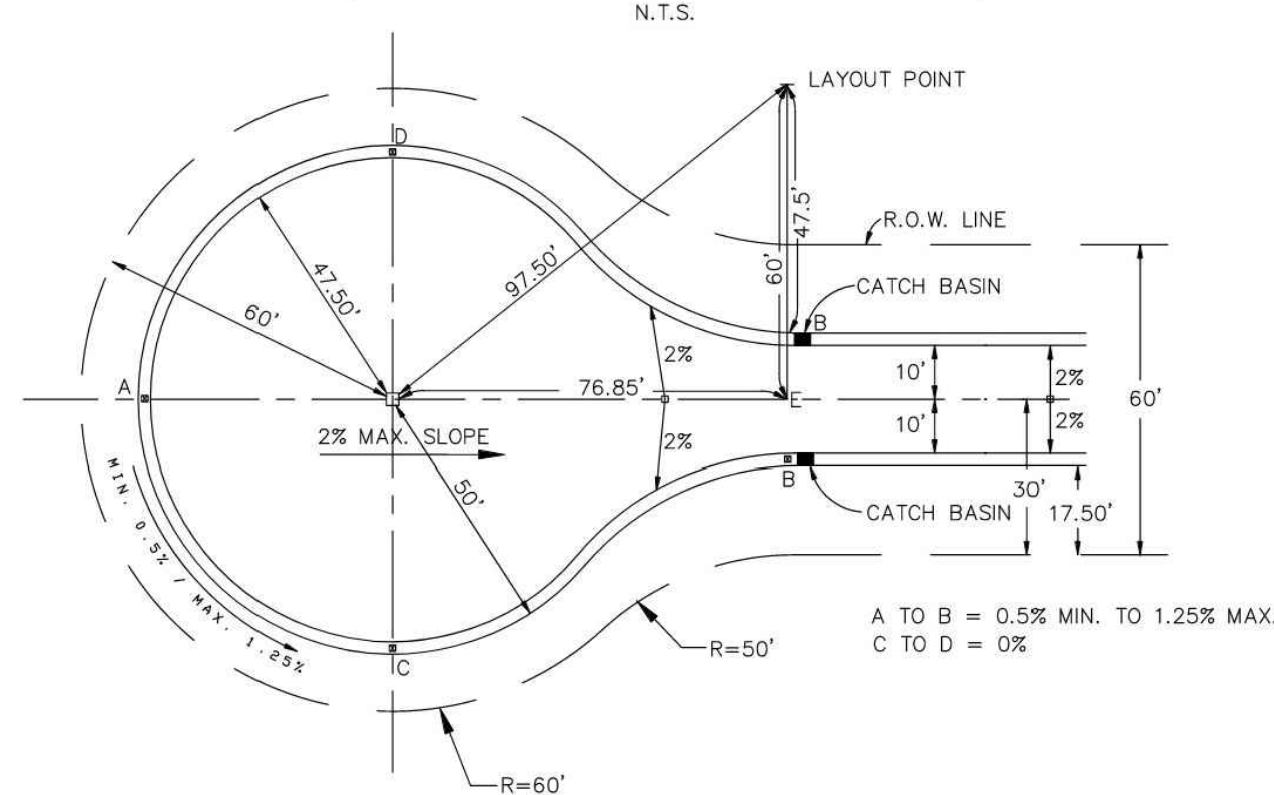
PROJECT NO.:
20254109.0000

DRAWING NO.:
C-203

DATE:
MAY 2025

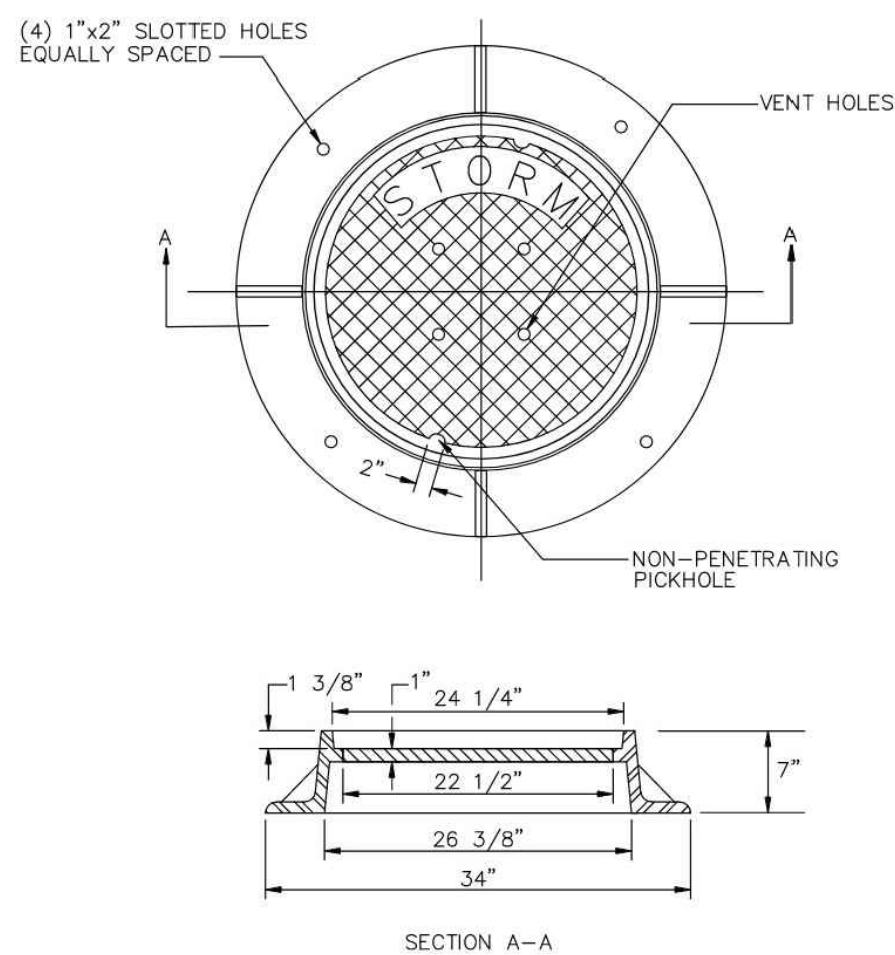


STANDARD CUL-DE-SAC DETAIL



ALL PLANS REQUIRE A SEPARATE CUL DE SAC DETAIL WITH ELEVATIONS AT EIGHT (8) EQUIDISTANT POINTS, ALONG THE GUTTER INVERT. THE SLOPE BETWEEN ANY TWO POINTS IN A CUL DE SAC SHALL NOT EXCEED 2%. ALL ROAD GRADES SHOULD TRANSITION TO A MAXIMUM GRADE OF 2% FROM BEGINNING OF CUL DE SAC (A TO E). CATCH BASINS SHOULD BE LOCATED TO INTERCEPT DRAINAGE BASED ON SEPARATE PLAN DETAIL.

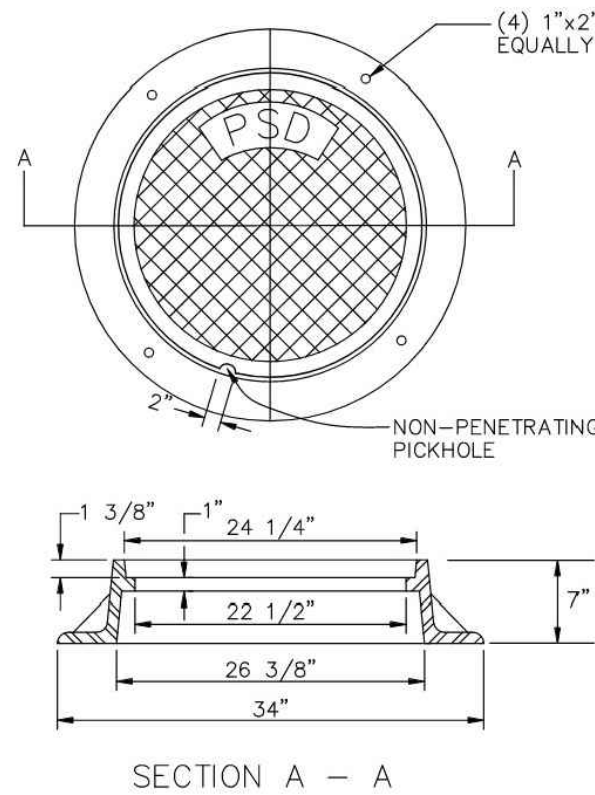
STORM MANHOLE STANDARD FRAME AND COVER DETAIL



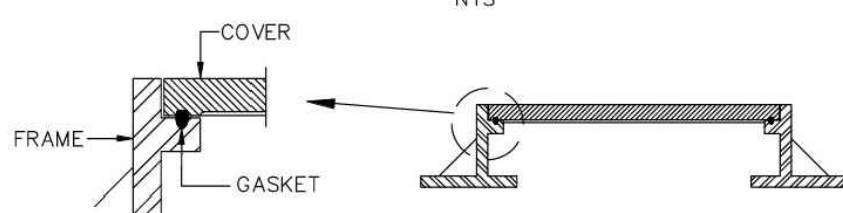
- NOTES:
- MATERIAL SHALL BE GRAY CAST IRON CONFORMING TO A.S.T.M. A48 (LATEST REVISION) CLASS 30B.
 - UNIT DESIGNED FOR HEAVY DUTY WHEEL LOADS A.A.S.H.T.O. HS20-44.
 - EACH FRAME AND COVER SHALL HAVE MACHINED HORIZONTAL BEARING SURFACES.

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SANITARY MANHOLE STANDARD FRAME AND COVER DETAIL

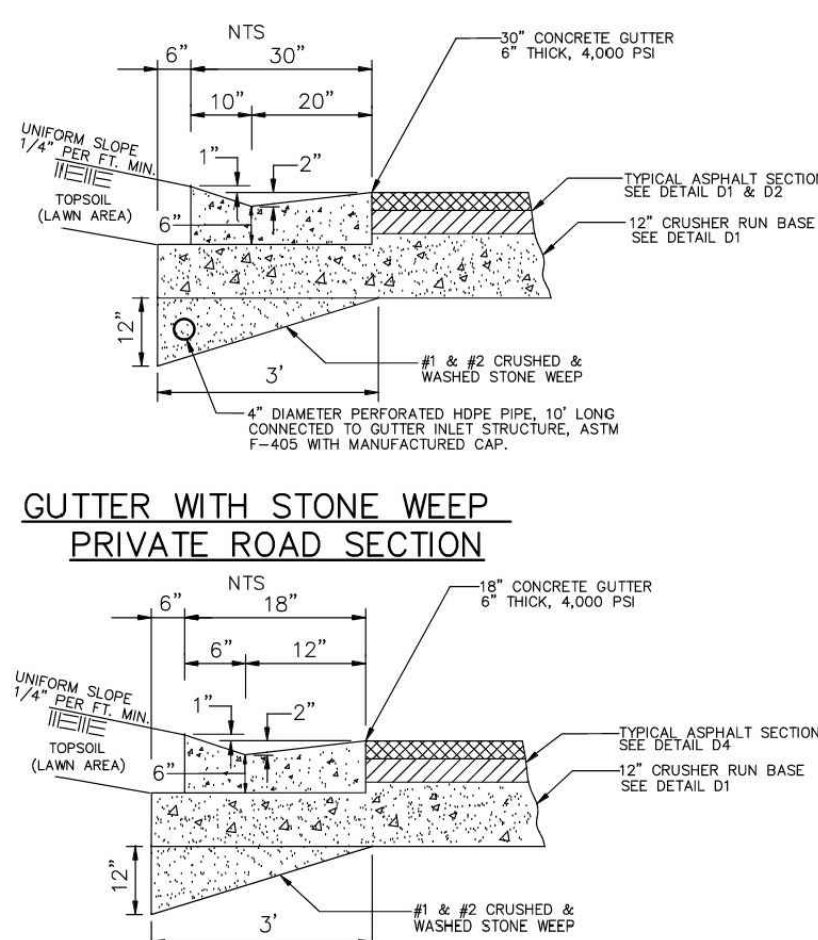


WATERTIGHT SANITARY SEWER MANHOLE COVER

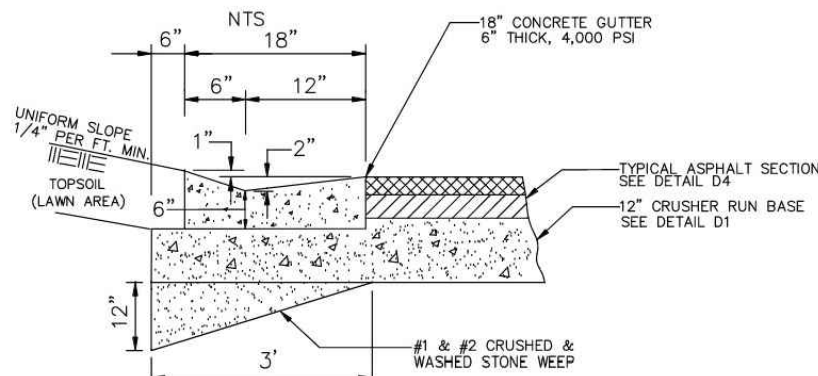


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GUTTER WITH STONE WEEP & UNDERDRAIN STANDARD / COLLECTOR ROAD SECTION

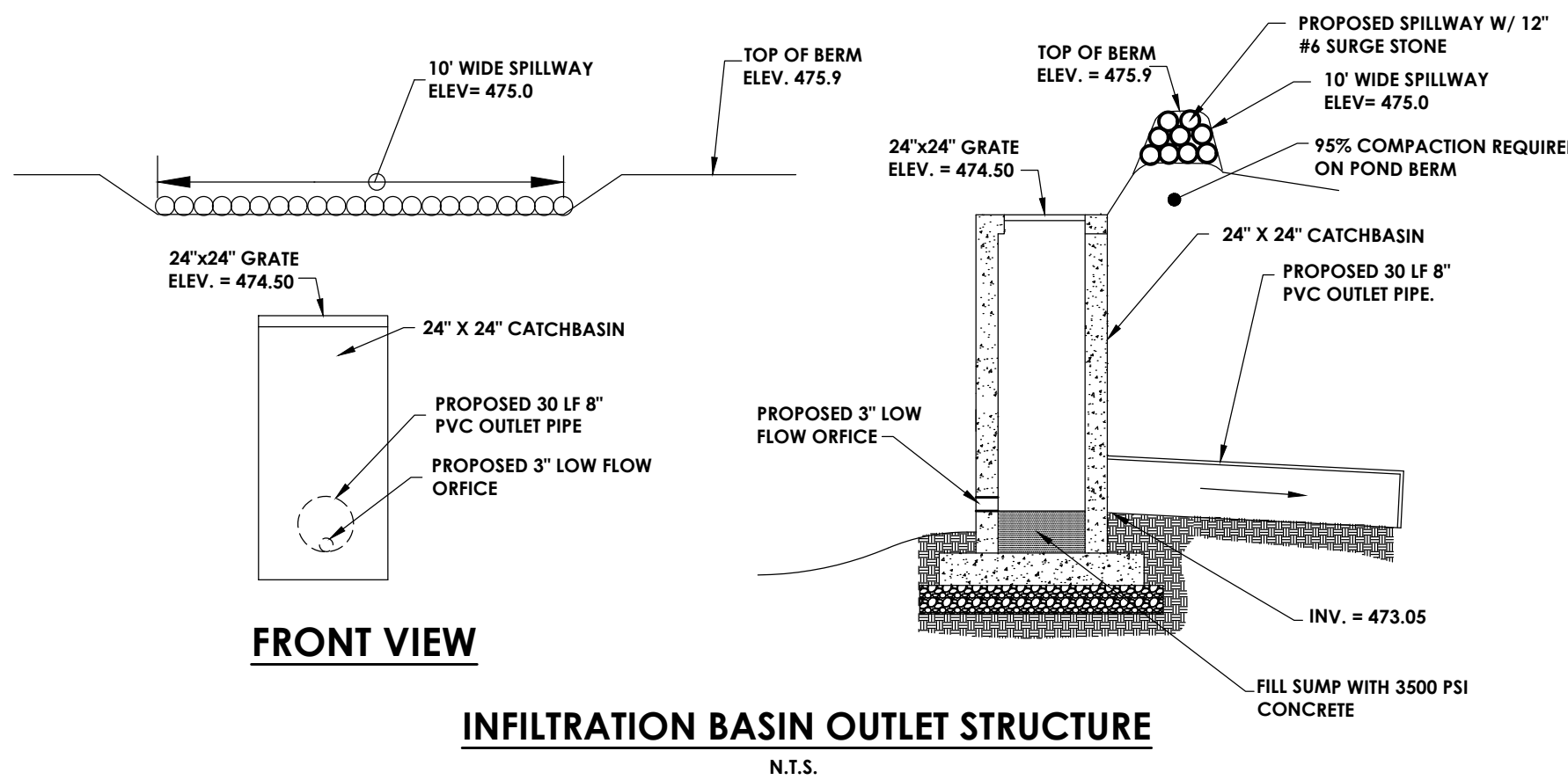


GUTTER WITH STONE WEEP PRIVATE ROAD SECTION

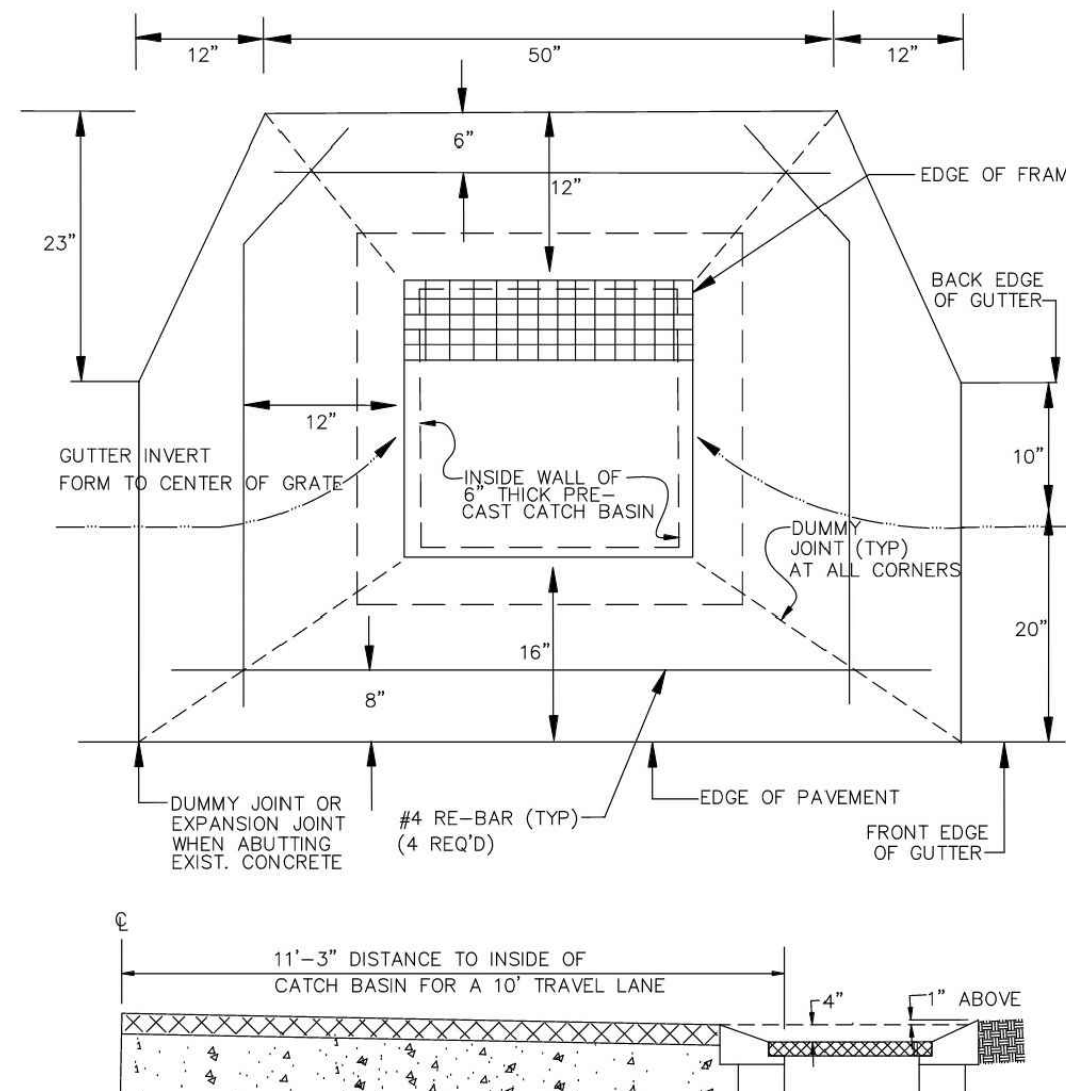


FRONT VIEW

INFILTRATION BASIN OUTLET STRUCTURE



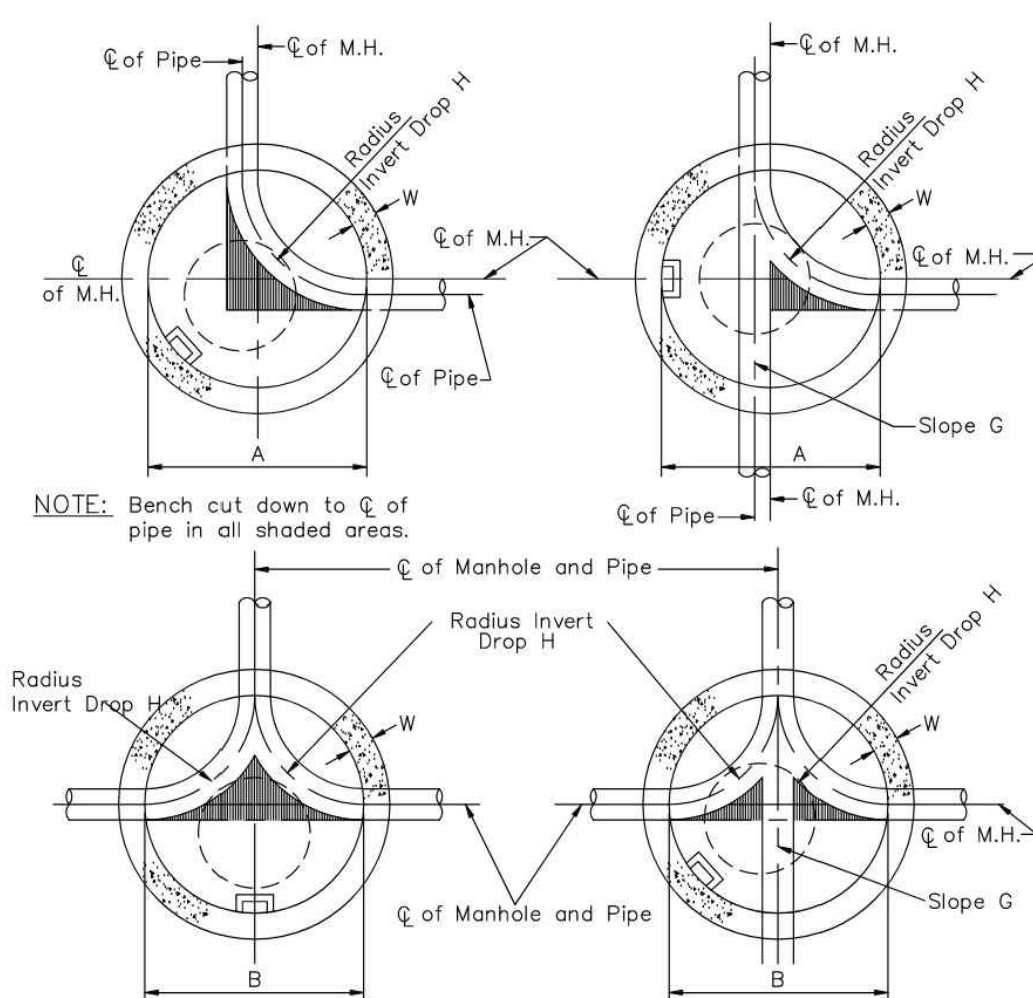
GUTTER & CATCH BASIN APRON DETAIL



- NOTES:
- PRE-CAST STEEL REINFORCED CONCRETE CATCH BASIN #CB-315BS MANUFACTURED BY KISTNER CONCRETE PRODUCTS, OR APPROVED EQUAL.
 - PROVIDE A RECTANGULAR TYPE FRAME (NYSOT 655F #9 W/4 ANCHORS) & GRATE (NYSOT 655-6 #9 RECTANGULAR GRATE 655GRIG-09)

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STANDARD MANHOLE DIMENSIONS

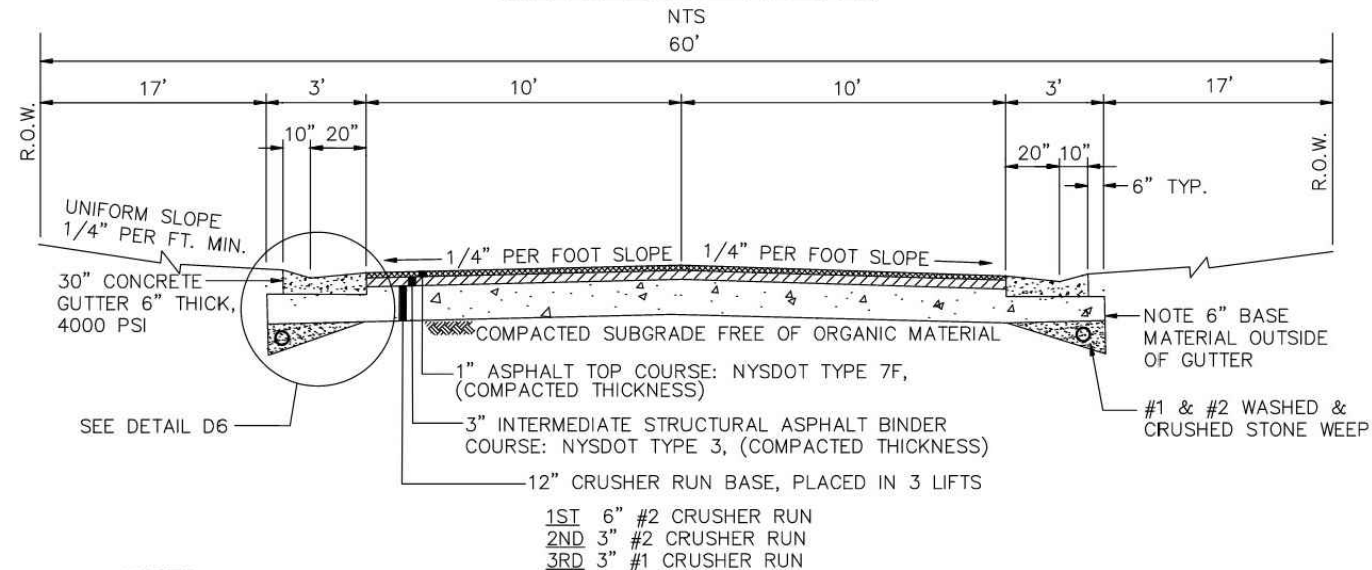


Sewer Pipe Dia.	8"	10"	12"	15"	18"	Greater than 18"
Manhole Diameter	A 4'-0"	4'-0"	4'-0"	5'-0"	5'-0"	As per requirements of D.P.W.
Invert Drop	G 0.1	0.1	0.1	0.1	0.1	
Drop	H 0.3	0.3	0.3	0.3	0.3	

- NOTE:
- Where inlet and outlet pipes are DIFFERENT diameters the slope must not be less than the difference in diameter or greater than 9 inches. Maximum drop across a manhole invert for matching diameters shall be 9 inches.
 - Minimum inside diameter for inside drop manholes shall be 5 foot for straight through configurations and 6 foot for all others.

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MINOR ROAD SECTION

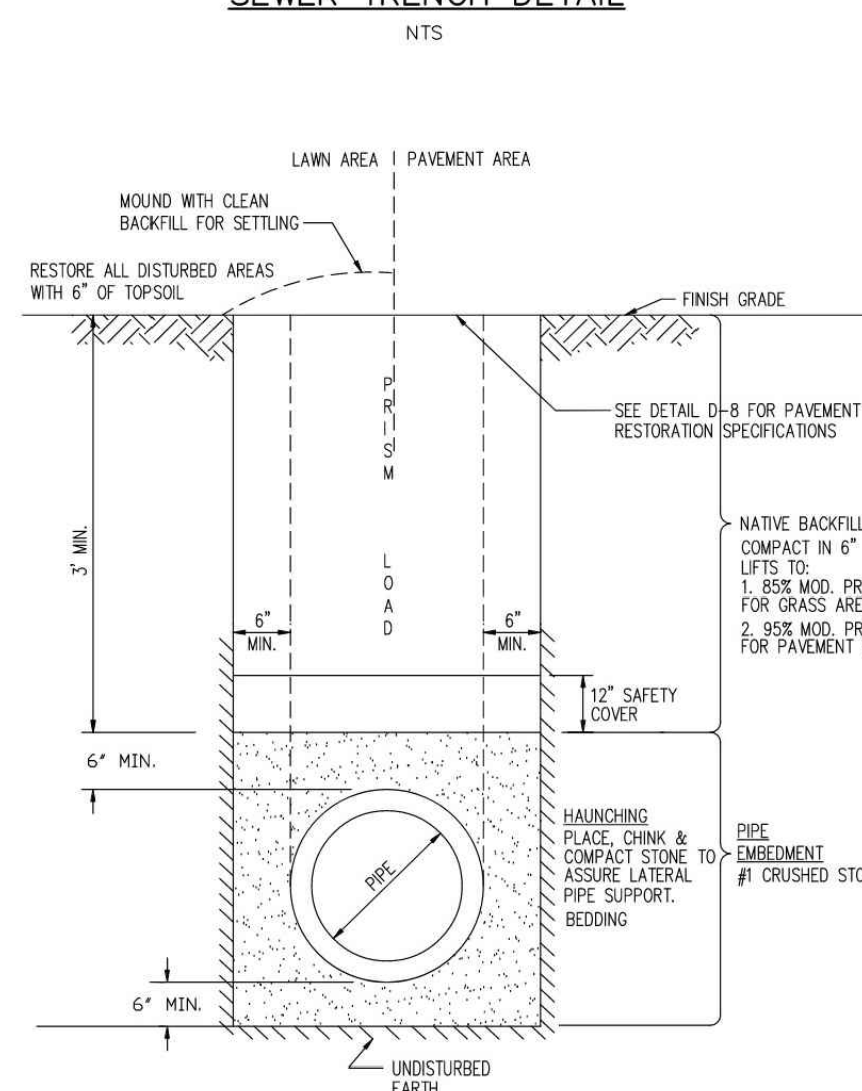


NOTES:

- THESE ARE MINIMUM SPECIFICATIONS. A SOIL INVESTIGATION IS REQUIRED TO SUPPORT A FINAL DECISION ON THE ROAD SECTION. THE COMMISSIONER OF PUBLIC WORKS WITH INPUT FROM THE DESIGN ENGINEER, SHALL DETERMINE THE ASPHALT MATERIALS.
- SUB-GRADE MUST FREE DRAIN TO STONE WEEP. A 10' PIECE OF 4" PERFORATED PIPE WITH END CAP WILL EXTEND INTO THE WEEP FROM EACH CATCH BASIN.
- IF ORGANIC MATERIAL IS ENCOUNTERED IN THE ROAD-BOX SUBGRADE IT WILL BE EXCAVATED OUT AND REPLACED WITH #2 CRUSHER RUN STONE GRADED TO DRAIN TO THE STONE WEEP UNDERDRAIN.
- THE ROADBOX SURGRADE AND SUBBASE MATERIAL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR UTILIZING A 10-TON VIBRATORY ROLLER WITH VIBRATORY FORCE OF 27,000 LBS.

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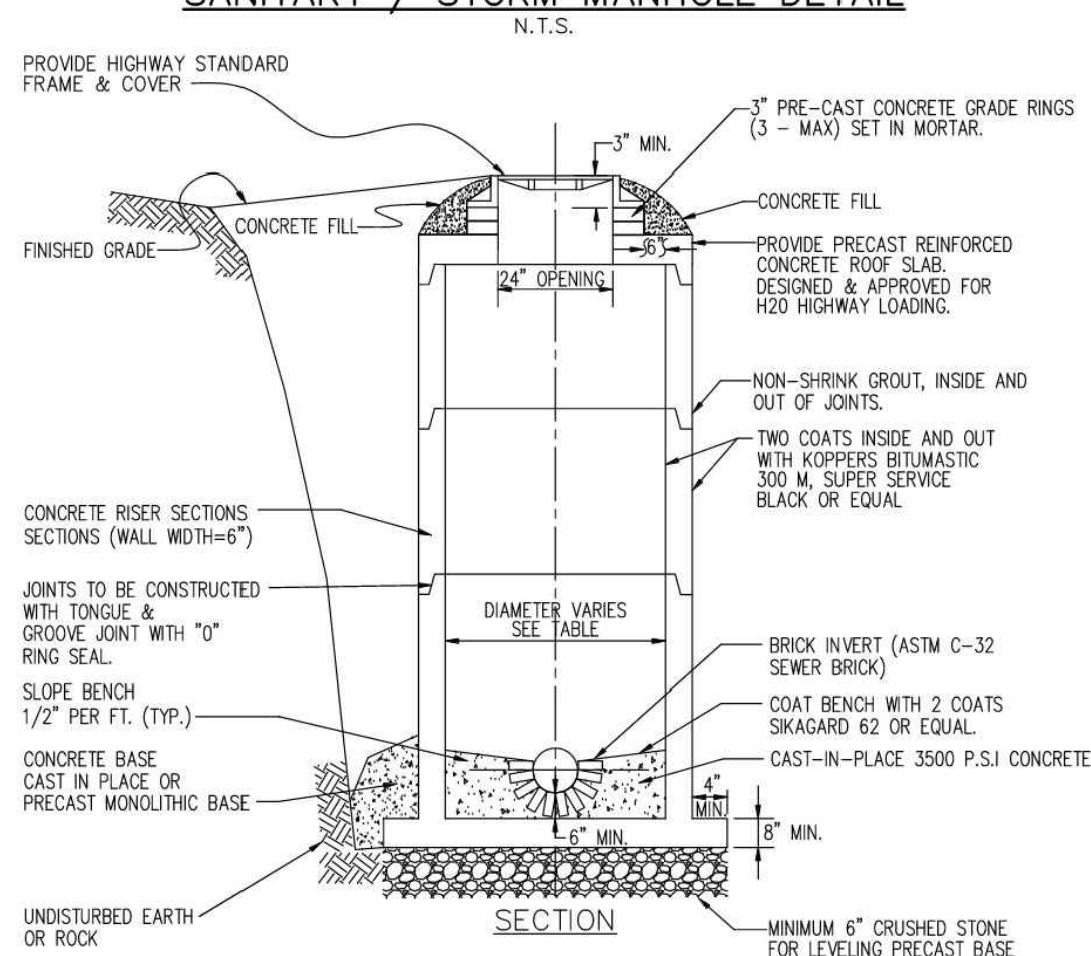
SEWER TRENCH DETAIL



NOTE: SAFETY COVER IS DEFINED AS NATIVE, CLEAN BACKFILL MATERIAL THAT IS FREE OF ORGANICS OR OTHER DELETERIOUS MATERIAL, INCLUDING ROCKS SIZED OVER 3-INCHES IN ANY DIRECTION.

D36
JANUARY 2021

SANITARY / STORM MANHOLE DETAIL



NOTES:

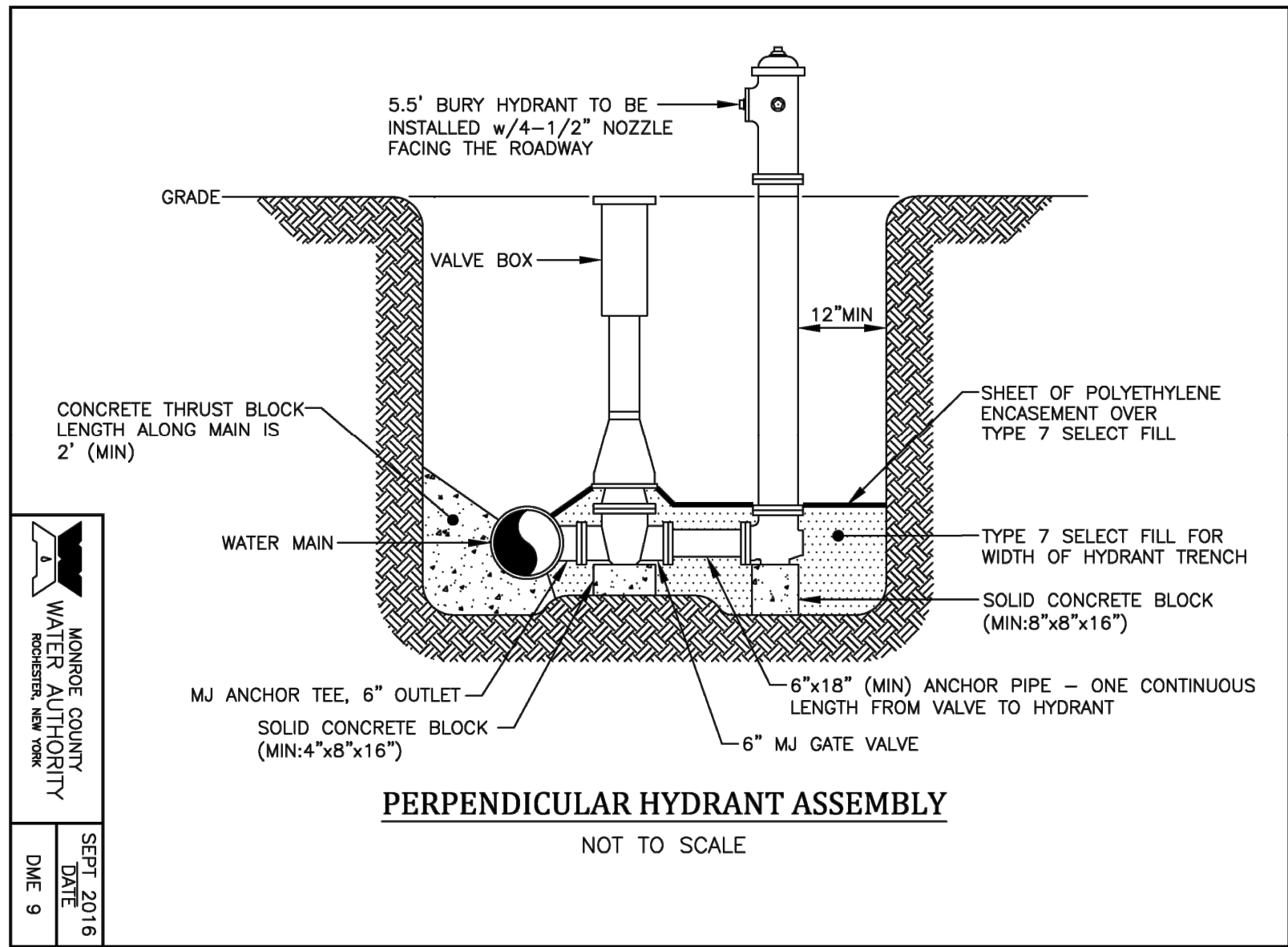
- USE REINFORCED CONCRETE RISERS AS MANUFACTURED BY KISTNER CONCRETE PRODUCTS, INC. OR APPROVED EQUAL.
- PROVIDE TOWN STANDARD FRAME & COVER.
- CONTRACTOR IS RESPONSIBLE FOR WATER TIGHTNESS OF MANHOLE.
- MAXIMUM MANHOLE SPACING TO BE 300'.
- USE MANHOLE ADJUSTMENT RINGS AS NEEDED.
- WITH PRIOR WRITTEN APPROVAL FROM THE COMMISSIONER OF PUBLIC WORKS, HALF-CLAY TILES OR HALF-PVC SDR-35 PIPE SECTIONS EMBEDDED IN CONCRETE MAY BE USED INSTEAD OF A BRICK INVERT. THE BENCH MUST BE BUILT UP WITH SEWER BRICK.

SEWER SIZE	MANHOLE DIAMETER
8"-14"	4'-0"
15"-27"	5'-0"
30"-36"	6'-0"
3&4 WAY	5'-0" MIN. SPECIAL INV. DETAIL REQ'D

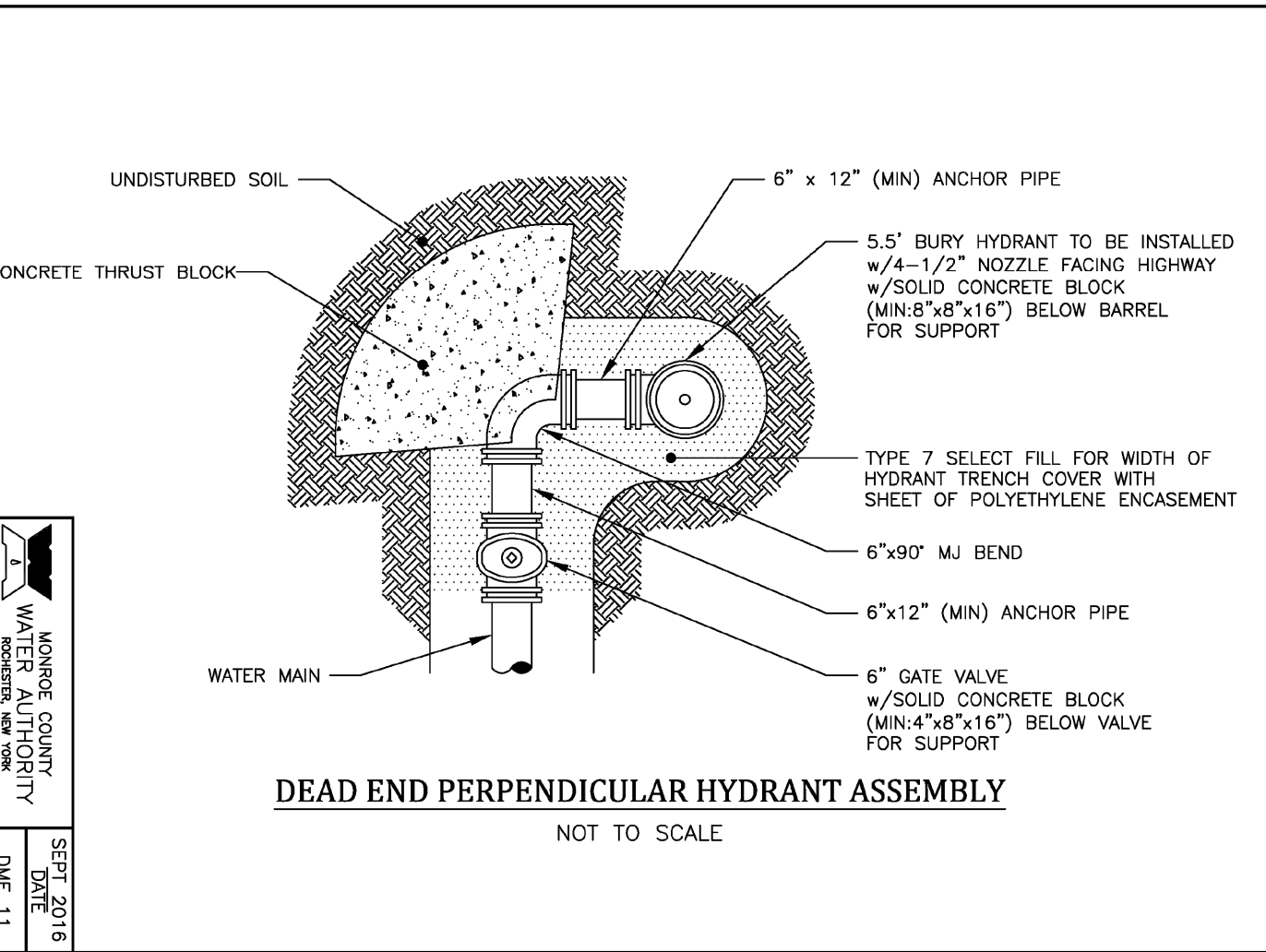
D23
JANUARY 2021

NOT FOR CONSTRUCTION

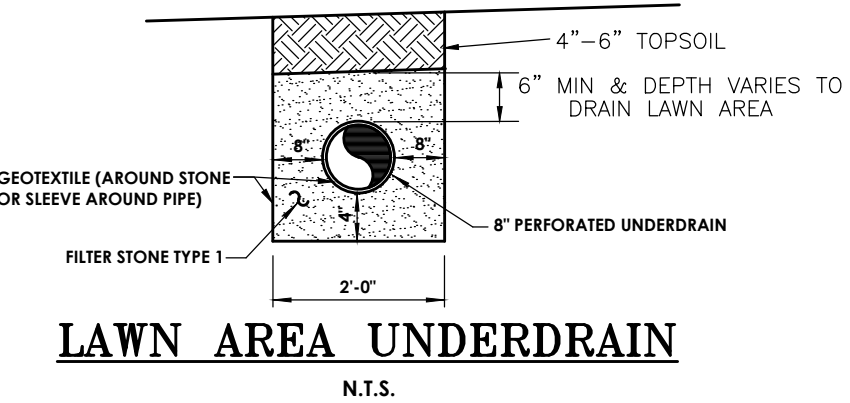
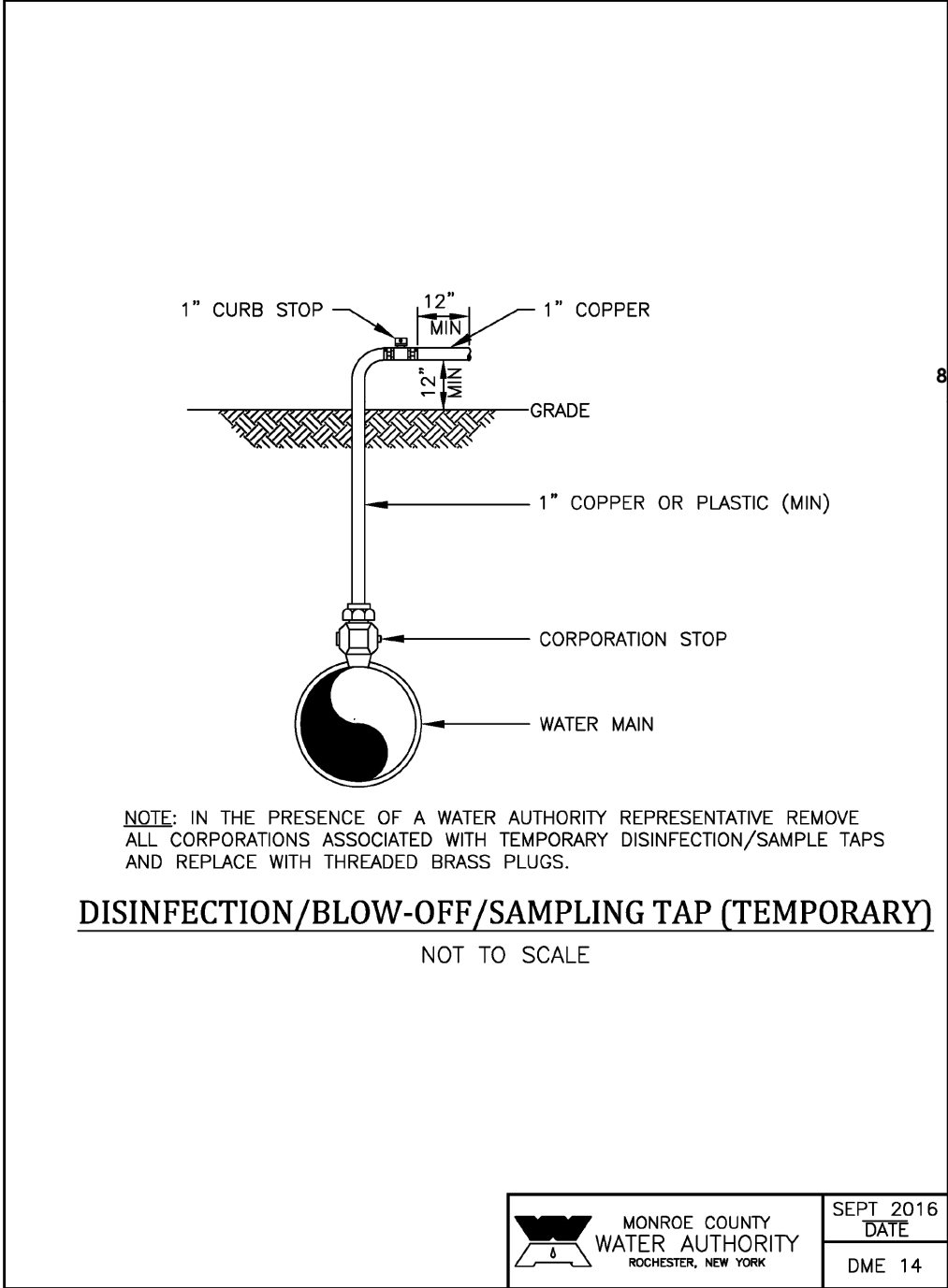
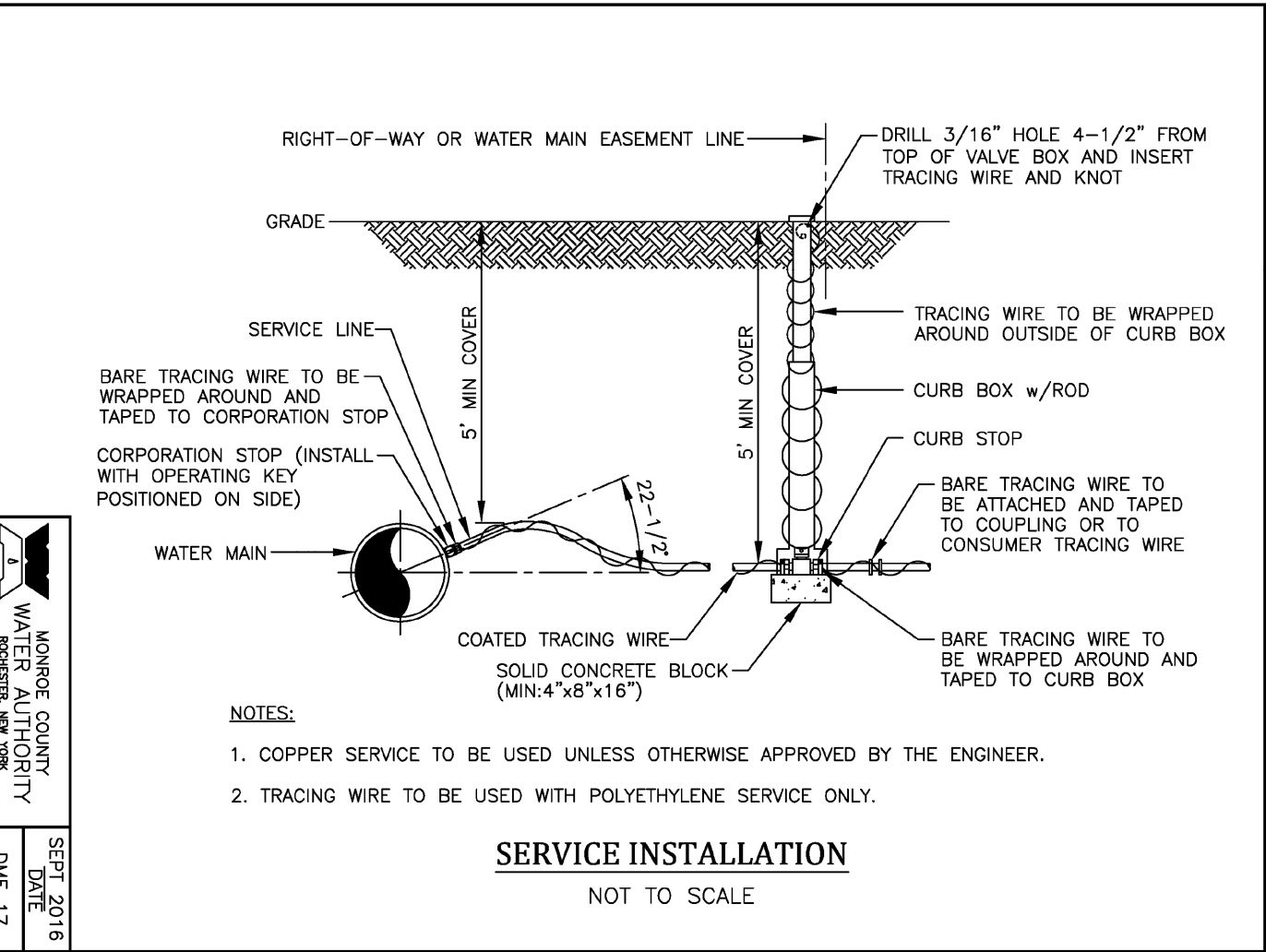
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R:\DETAILS\DME\2016 DME DETAILS\DME 17.DWG



TAPER METHOD OF LAYOUT

TAPER METHOD OF LAYOUT IS NOT RECOMMENDED WITH CORNER ANGLES LESS THAN 80° OR GREATER THAN 100°, NOR IS IT RECOMMENDED FOR DRIVEWAYS WITH A DRIVEWAY OFFSET (OUTER TRAVEL LANE + PAVED SHOULDER) LESS THAN 18', UNLESS IT CAN BE FIELD VERIFIED THAT THE DRIVEWAY ENTRANCE WIDTH WILL ACCOMMODATE THE VEHICLES THAT USE THE DRIVEWAY ON A REGULAR BASIS.

- STEP 1- SCRIBE A LINE (LAYOUT LINE) OFFSET THE APPROPRIATE 'LAYOUT DISTANCE' (SEE TABLE 1) FROM THE INSIDE EDGE OF THE OUTERMOST OF TRAVEL LANE.
STEP 2- LOCATE THE TAPER LAYOUT POINT, WHICH IS AT THE INTERSECTION OF THE EDGE OF DRIVEWAY AND THE LAYOUT LINE.
STEP 3- SCRIBE A 1:1' T (SEE TABLE 1) TAPER FROM THE LAYOUT POINT TO THE EDGE OF PAVEMENT (WITH 'T' BEING PERPENDICULAR TO THE EDGE OF TRAVEL LANE).
STEP 4- FIND THE DRIVEWAY OPENING LIMIT POINT WHICH IS WHERE THE TAPER INTERSECTS THE EDGE OF PAVEMENT.
STEP 5- REPEAT STEPS 1-4' FOR THE OTHER SIDE OF THE DRIVEWAY OPENING.

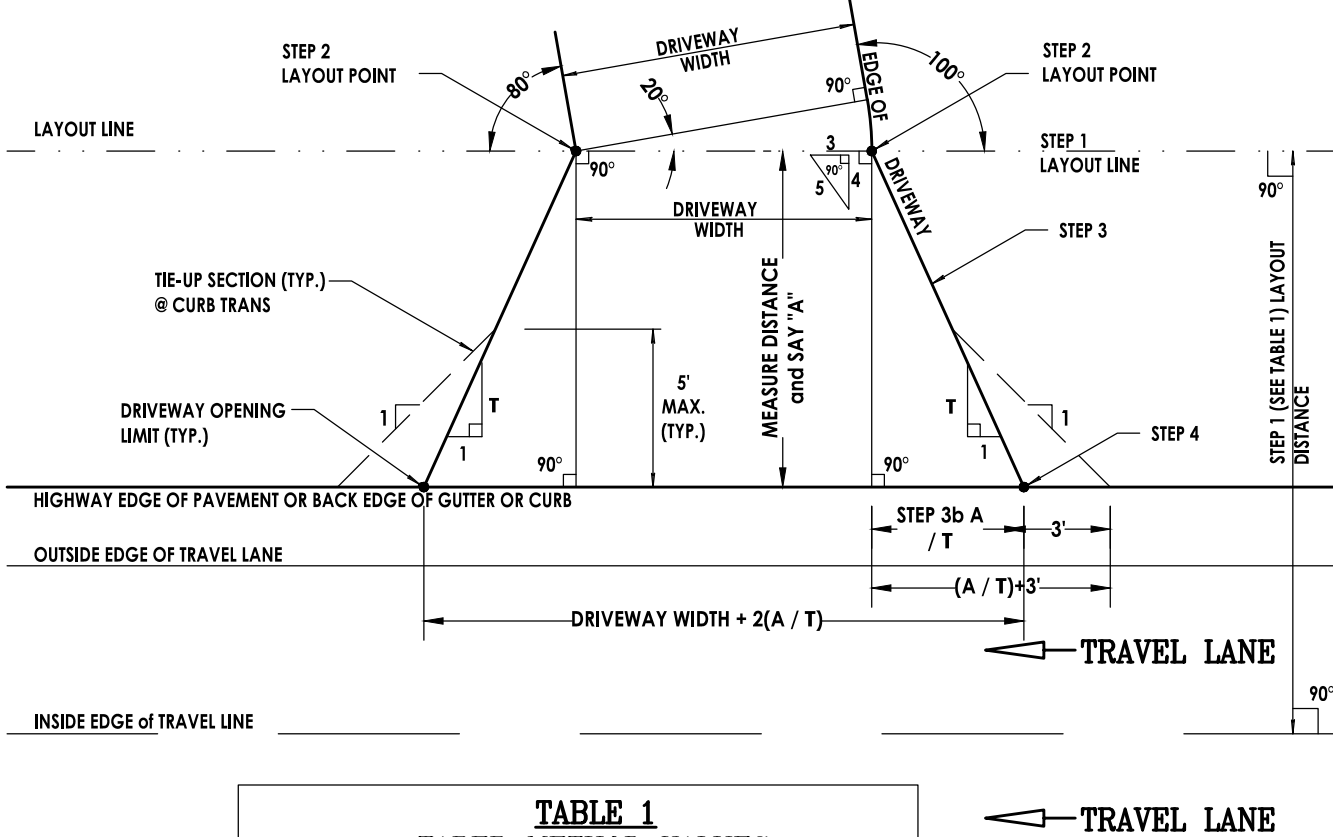


TABLE 1 TAPER METHOD VALUES			
DRIVEWAY CLASSIFICATION	DRIVEWAY WIDTH	DRIVEWAY TAPER (1:T) (SEE NOTE 1)	LAYOUT DISTANCE (SEE NOTE 2)
RESIDENTIAL	10'(Min.)-20'(Max.)	1:2	28 Ft.
MINOR COMMERCIAL	30' (Max.)	1:1-1/2	41 Ft.

NOTES:

1. HEADER CURB FOR RESIDENTIAL DRIVEWAYS SHOULD NOT EXCEED 24" UNLESS MATCHING EXISTING OPENING WIDTH (UP TO 30').
2. LAYOUT DISTANCE IS MEASURED FROM THE INSIDE EDGE OF OUTERMOST TRAVEL LANE (FOR A MULTI-LANE ROADWAY), OR FROM THE CENTERLINE OF A TWO-LANE ROADWAY.

DRIVEWAY TAPER LAYOUT

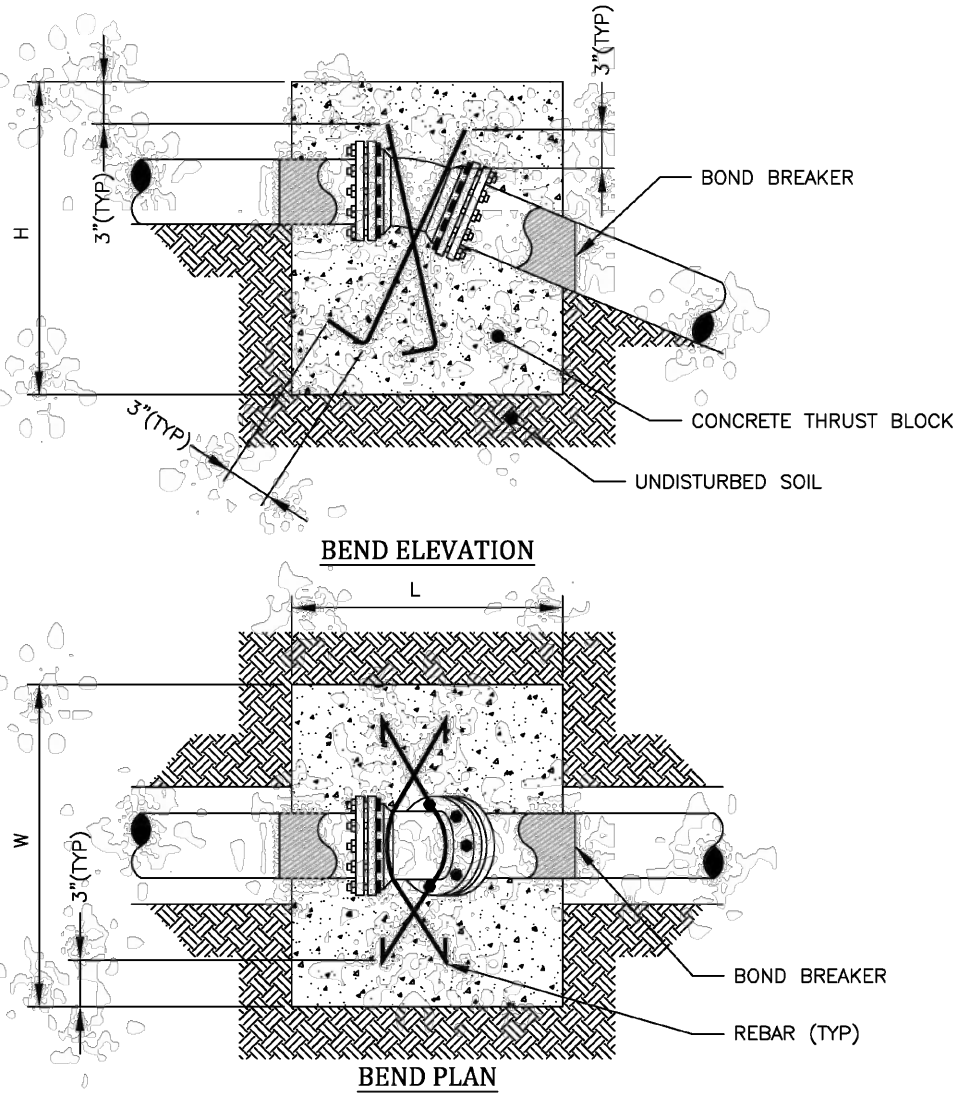
NOT TO SCALE - REVISED: 06/12/23

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PIPE DIAMETER	BEND															
	11 1/2 DEGREE				22 1/2 DEGREE				45 DEGREE				90 DEGREE			
	L (FT)	W (FT)	H (FT)	VOL (CY)	L (FT)	W (FT)	H (FT)	VOL (CY)	L (FT)	W (FT)	H (FT)	VOL (CY)	L (FT)	W (FT)	H (FT)	VOL (CY)
2.0	4.0	0.35	1.5	2.0	4.0	0.70	1.5	2.5	4.5	1.40	1.5	2.5	4.5	2.80		

SOIL BEARING STRENGTH - PSF
PSI TEST PRESSURE

VERTICAL DOWN THRUST BLOCKS



- NOTES:
1. THRUST BLOCKS SHALL BE CENTERED HORIZONTALLY ON BENDS.
2. VOLUMES SHOWN IN CHART ARE MINIMUMS.

VERTICAL DOWN THRUST BLOCKS

NOT TO SCALE

MONROE COUNTY
WATER AUTHORITY
ROCHESTER, NEW YORK

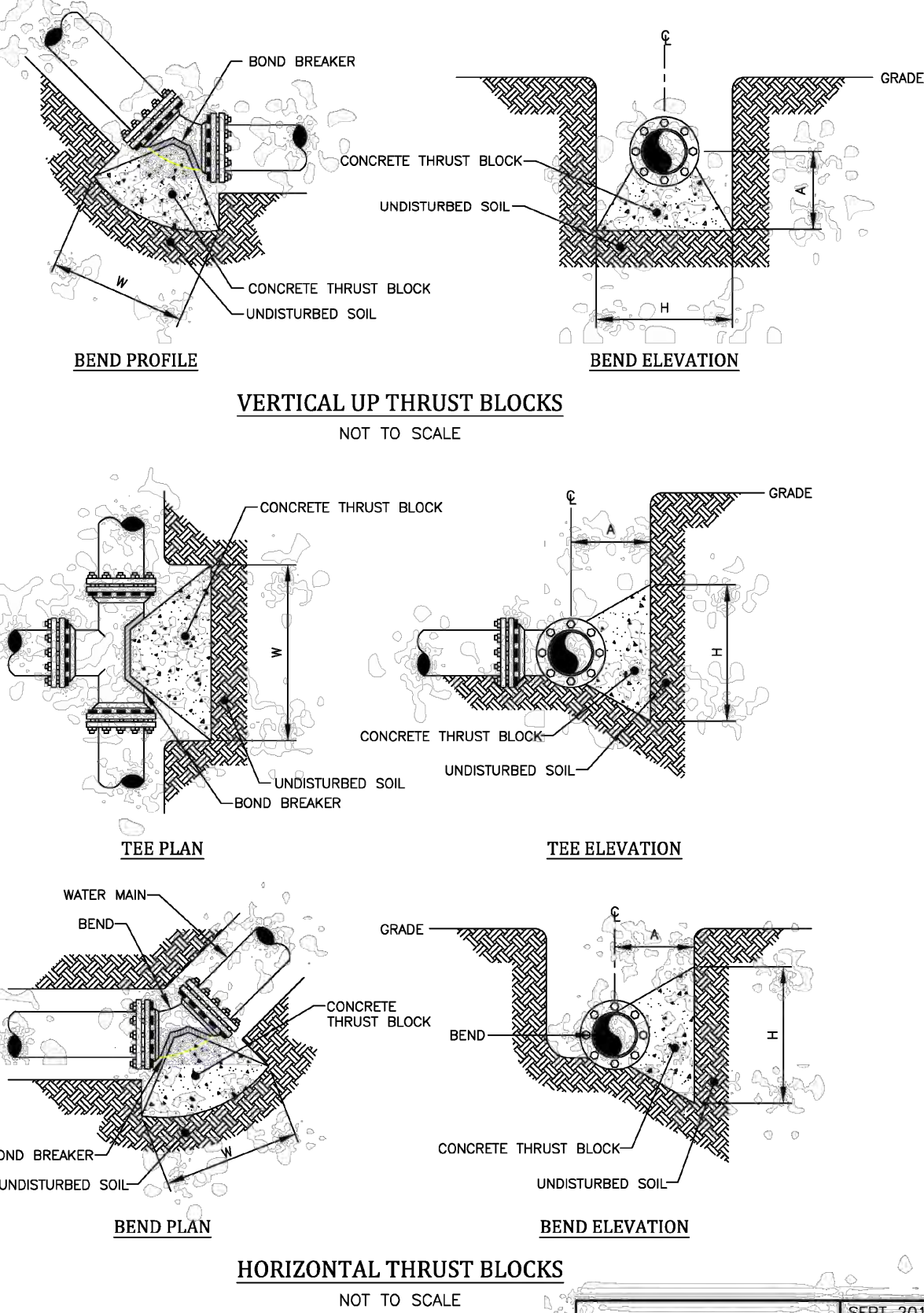
SEPT 2016
DATE
DME 7

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PIPE DIAMETER	BEND OR FITTING														
	11½ DEGREE			22½ DEGREE			45 DEGREE			90 DEGREE			TEE*, CAP PLUG		OR
	H	W	A	H	W	A	H	W	A	H	W	A	H	W	A
	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)	(FT)
1	2	1.5	1.5	3	1.5	2	4	2	3	6	2.5	3	5	2	

* SIZE BLOCK BASED ON BRANCH DIAMETER.
SOIL BEARING STRENGTH - PSF
PSI TEST PRESSURE

HORIZONTAL AND VERTICAL UP THRUST BLOCKS



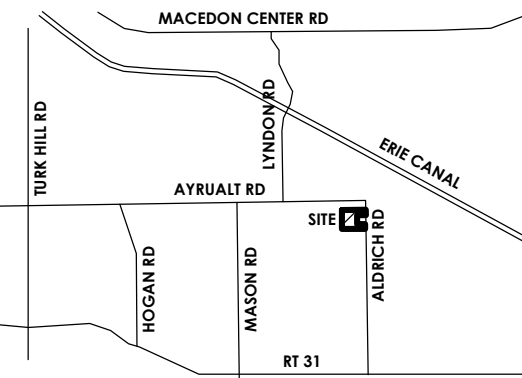
HORIZONTAL THRUST BLOCKS

NOT TO SCALE

MONROE COUNTY
WATER AUTHORITY
ROCHESTER, NEW YORK

SEPT 2016
DATE
DME 6

COX
ENGINEERING



LOCATION SKETCH

N.T.S.

STAMP:



CLIENT:

IGWT DEVELOPMENT LLC
677 GASBERRY LN
WEBSTER, NY 14580

PROJECT MANAGER

DAVID COX PE

DESIGNER

DAVID COX PE

NO. DATE BY DESCRIPTION

1 6/19/25 DC REVISED PER TOWN STAFF COMMENTS

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DETAIL SHEET

PERINTON RESERVE

MUNICIPALITY: Perinton

COUNTY: Monroe

STATE: NY

PROJECT NO.:

20254109.0000

DRAWING NO.:

C-204

DATE:

MAY 2025

NOT FOR CONSTRUCTION

Short Environmental Assessment Form

Part 1 - Project Information

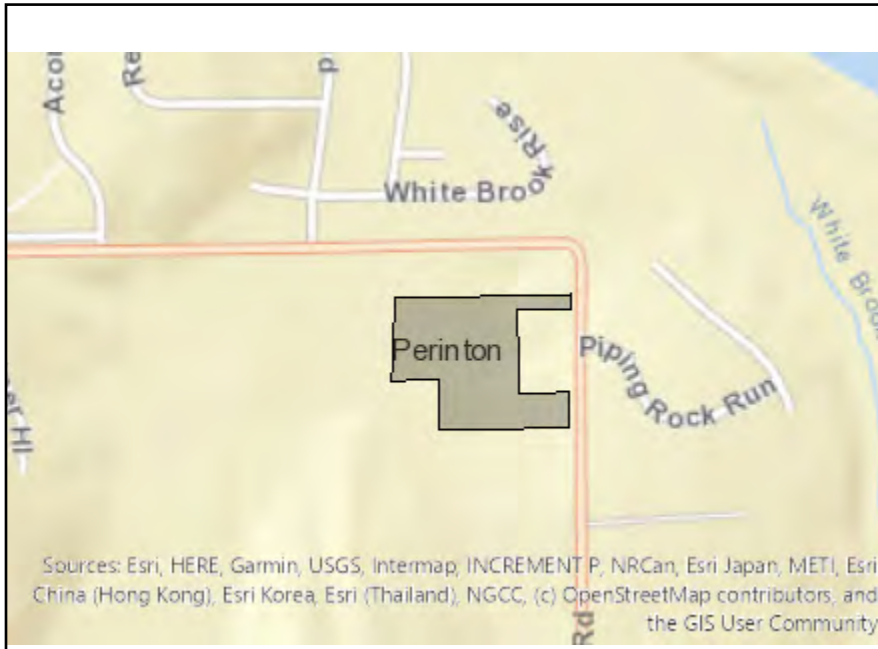
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone: [REDACTED]	
			E-Mail: [REDACTED]	
Address:				
City/PO:			State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)				
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	N/A <input type="checkbox"/> <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Project:

Date:

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Project:

Date:

Short Environmental Assessment Form

Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)